

East Area Planning Committee Presentation

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16/03006/FUL

1

Templars Square redevelopment



PROPOSED SITES LOCATION PLAN

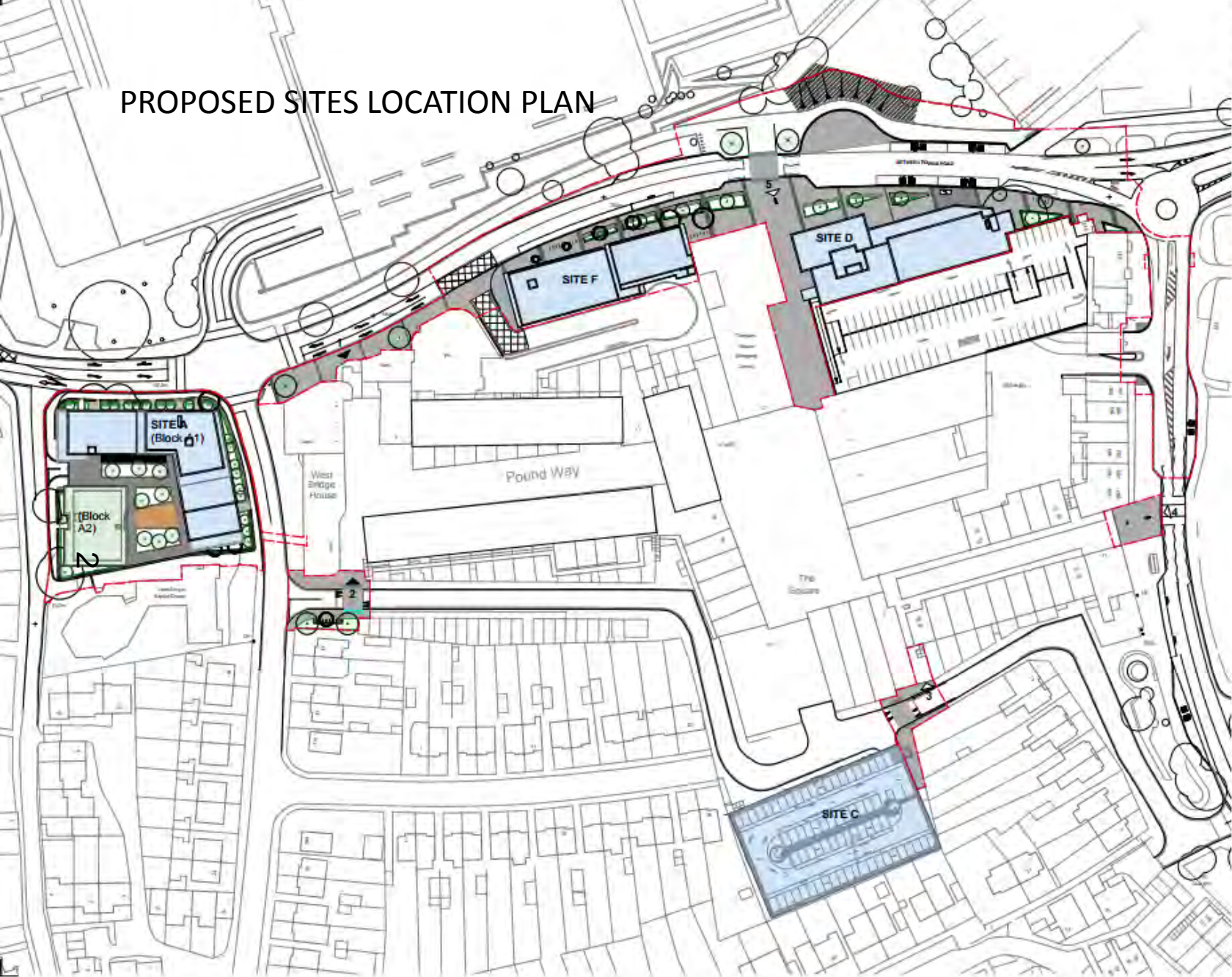


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FOR DETAILED ROAD LAYOUT REFER TO TRANSPORT CONSULTANTS DRAWINGS

FOR DETAILED HARD AND SOFT LANDSCAPE INFORMATION REFER TO LANDSCAPE ARCHITECTS DRAWINGS

SITE LEGEND:-

- PLANNING APPLICATION BOUNDARY
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- PROPOSED TREES
- CENTRE ENTRANCE
- GATEWAY ENTRANCE

1:100 1:10, 1:100 (Submitted for Planning) 1:100

PLANNING

Date: _____

Site: _____

Project: _____

Location: _____

County: _____

Proposed Site Plan

Rev	Issued	Rev	Issued	Rev	Issued
REL	1:100	AS	1:100	1:100	1:100
1:100	1:100	1:100	1:100	1:100	1:100

CORSTORPHINE + WRIGHT ARCHITECTS

Thomas
London
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Second Floor, 1000 Street, Warwick, CV34 6EL
Tel: 01926 686666 www.corstorphine-wright.com

Proposed elevations on Between Towns Road

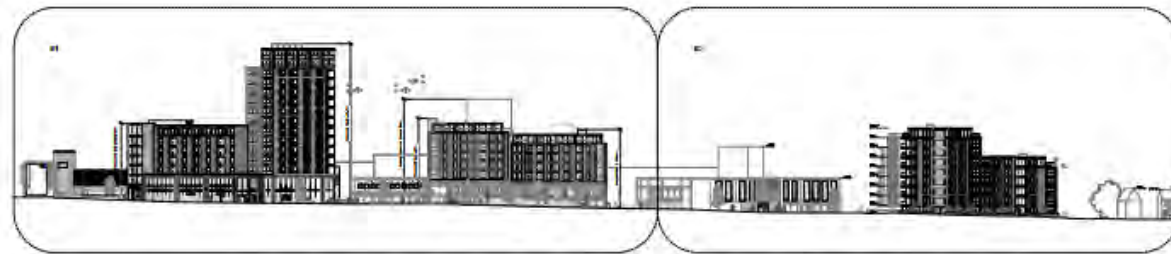


PL Street Elevation (North) - Between Towns Road - Site D & Site F - Scale 1:500

3



PL Street Elevation (North) - Between Towns Road - Gateway Structure 1 & Site A - Scale 1:500



PL Street Elevation (North) - Between Towns Road - Scale 1:500

Complete Street Scene

PLANNING					
Project Name					
Client					
Design & Drawn					
Check & Approved					
Date					
PL	EL	AC	AMEND	DATE	BY
CORSTORPHINE + WRIGHT ARCHITECTS					
100-102, 104-106, 108-110, 112-114, 116-118, 120-122, 124-126, 128-130, 132-134, 136-138, 140-142, 144-146, 148-150, 152-154, 156-158, 160-162, 164-166, 168-170, 172-174, 176-178, 180-182, 184-186, 188-190, 192-194, 196-198, 200-202, 204-206, 208-210, 212-214, 216-218, 220-222, 224-226, 228-230, 232-234, 236-238, 240-242, 244-246, 248-250, 252-254, 256-258, 260-262, 264-266, 268-270, 272-274, 276-278, 280-282, 284-286, 288-290, 292-294, 296-298, 300-302, 304-306, 308-310, 312-314, 316-318, 320-322, 324-326, 328-330, 332-334, 336-338, 340-342, 344-346, 348-350, 352-354, 356-358, 360-362, 364-366, 368-370, 372-374, 376-378, 380-382, 384-386, 388-390, 392-394, 396-398, 400-402, 404-406, 408-410, 412-414, 416-418, 420-422, 424-426, 428-430, 432-434, 436-438, 440-442, 444-446, 448-450, 452-454, 456-458, 460-462, 464-466, 468-470, 472-474, 476-478, 480-482, 484-486, 488-490, 492-494, 496-498, 500-502, 504-506, 508-510, 512-514, 516-518, 520-522, 524-526, 528-530, 532-534, 536-538, 540-542, 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CGI of Site A corner of Between Towns Road and Beauchamp Lane



4

CGI looking South East along Between Towns Road towards [Site A](#) (currently Castle Car Park)

CGI of Site A corner of Between Towns Road and Crowell Rd



CGI looking towards the corner of [Site A](#), on the junction of Between Towns Road and Crowell Road

CGI of the front elevation of Site A



CGI of the North elevation of Site A, fronting Between Towns Road

CGI of Site A on Beauchamp Lane



CGI of [Site A](#) fronting Beauchamp Lane, illustrating the sympathetic use of materials which respond to the Beauchamp Lane Conservation Area

CGI of the Site F, Site D in background



Elevated CGI of Site F looking South East along Between Towns Road

CGI of the front elevation of part of Site F



CGI of Site F looking along Between Towns Road

CGI of Site D



View looking towards residential tower of [Site D](#) looking South East along Between Towns Road



Glazed balcony detail that fronts Between Towns Road help articulate the elevation and provides fantastic outdoor spaces for residents



Elevated CGI of [Site D](#), along Between Towns Road

Hotel to LHS of Tower block of flats, two retail units below

CGI of Site D, new facing to Barns Road Car park



View looking towards residential tower from North/East



CGI of proposed new entrance (1) Between Towns Road

CGI of new shopping centre entrances



CGI of proposed new entrance (2) Hockmore Street West



CGI of proposed new entrance (3) Hockmore Street East

CGI of the whole development at night



Illustrative planting and public realm strategy – as submitted (N.B. It has been amended to include cycle lanes



Excerpt of amended public realm proposal to show cycle lanes, pedestrian crossing to John Allen and bus turning



Proposed plans and elevations for SITE A

Site A Between Towns Rd street scene

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1. UNFINISHED CONCRETE FACING BRICK
2. UNFINISHED CONCRETE FACING BRICK
3. UNFINISHED CONCRETE FACING BRICK
4. UNFINISHED CONCRETE FACING BRICK
5. UNFINISHED CONCRETE FACING BRICK
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7. UNFINISHED CONCRETE FACING BRICK
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9. UNFINISHED CONCRETE FACING BRICK
10. UNFINISHED CONCRETE FACING BRICK
11. UNFINISHED CONCRETE FACING BRICK
12. UNFINISHED CONCRETE FACING BRICK



SITE A STREET ELEVATION - BETWEEN TOWNS ROAD (1:200)

1/200 17.03.17 Submitted for Planning 1/200

1/200 17.03.17 Submitted for Planning 1/200

PLANNING

Date:
New River
Page:
Temple Square, County
Site A
Drawing No:
Proposed Elevations
Street scene

Rev	Revised	By	Date	Rev
001	001	A1	VARIES	001
002	002	0027	0027	002

CORSTORPHINE + WRIGHT
ARCHITECTS

Architect:
Landscape:
Structural:
Mechanical:
Electrical:
Civil:
Other:
Date:
Book No: 1/200 17.03.17 Submitted for Planning 1/200
Tel: 01208 888888 www.corstorphine-wright.com



STREET SCENE - BETWEEN TOWNS ROAD (1:1000)

Figural dimensions only to be taken from this drawing. DO NOT SCALE. All dimensions must call the side and be responsible for providing all setting out dimensions and building the finished of any discrepancies prior to any construction or construction work.



- ① REINFORCED POLYETHYLENE FACING BOARD
WHICH MATCH STUDS, GUTS, LIGHT
TRUSSING CLAY BRICK.
- ② SPILT STONE CLADDING
- ③ CHAMFERED BRICK DETAIL
- ④ ZIP LAPPING PANEL SYSTEM
- ⑤ ALUMINIUM DRIP DETAIL; POWDER COATED
DARK GRAY
- ⑥ ALUMINIUM PARAPET; POWDER COATED;
DARK GRAY
- ⑦ TONGUED & GROOVE RAILSTRACE; STAINLESS
STEEL; STAINLESS STEEL HANDRAIL
- ⑧ FULL HEIGHT, ALUMINIUM FRAMESL; POWDER
COATED SLATING SYSTEM TO APPOINTMENTS
- ⑨ TRELLIS LEAFLET SYSTEM TO UNDERPINCH
T-CL PANE
- ⑩ PROPOSED STONE BOUNDARY WALL
- ⑪ THREADED STEEL CLADDING SYSTEM TO
CHANGE OVER FROM CLAY BRICK AT CURB

PDF 17.03.17 Amendments to Calculus Online Reductio: Line directions; Private

PLOS ONE | <https://doi.org/10.1371/journal.pone.0215118> Submitted for Publishing: 2019-09-10; Accepted: 2019-11-14[illegible]

PLANNING

Temple Square, Cowley
Site A

Drawing Title
Proposed Elevations
South Elevation

Issue	Version	Project No.	Date	Rev.
RSJ	PT	A1	1:100	OCT 2015
Signature	Drawing No.		Issued	
12/02/16	06/00		P-00	

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Brook Hall, Brook Street, Warwick, CV34 4BA.
Tel. 01827 668444. www.construction-wire.com





Proposed stone wall to Boundary

DOI: 10.1002/anie.201200000

PH-02	16.11.18	Submitted for Planning	100
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PLANNING

Non-Direct

Temple Square, County
City, A

Drainage Basins
Proposed Elevations
Section A-A

Request	Submitted	Project Title	Task	Due
R&D	PT	AI	1:100	OCT 2015
Approved		Submitted		Reviewed
12/2/08		06/23		P-00

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Brook Hall, Brook Street, Worcester, CV1 3HL.
Tel 01859 888844 www.construction-weight.com

Brook Hall Brook Street Norwich CV1 4RL
Tel: 01603 688644 www.concorphise-weight.com



Beauchamp Lane elevation



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- ① TRIPLEX BRICK 'BONDING' FACED BRICK
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P-01 17/03/17 Amendments to existing Beauchamp Lane elevation drawings. Approved for planning submission.

P-02 16/11/18 Submitted for Planning.

Rev. Date. Description.

PLANNING

Date: 16/11/18

Project: Beauchamp Lane

Location: Temple Square, Coventry, Site A

Drawing Title: Proposed Elevation Beauchamp Lane

Rev.	Date	By	Check	Appr.
001	17/03/17	PT	A1	11/08
002	16/11/18	PT	A1	11/08

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- ① THUNDERBOLT BRICKWORK SYSTEM FACED BRICK
- ② BRICKWORK MATCH BRICK, BUFF, LIGHT TINTED CLAY BRICK
- ③ SPUR BRICK CLADDING
- ④ CHAMFERED BRICK DETAIL
- ⑤ ZINC CLADDING PANEL SYSTEM
- ⑥ ALUMINIUM DRIP CEILING, POWDER COATED DARK GREY
- ⑦ ALUMINIUM PARAPET POWDER COATED DARK GREY
- ⑧ TONED GLASS BALUSTRADE, SIGNATURE, BRUSHED STAINLESS STEEL HANDRAIL
- ⑨ FULL HEIGHT, ALUMINIUM FRAMED, POWDER COATED GLASS SYSTEM TO APARTMENTS
- ⑩ TRIMMER LOUVER SYSTEM TO UNDERCROFT CAR PARK
- ⑪ PROPOSED STONE BOUNDARY WALL

PH1 17.05.17 Amendments to partially detailed structural and architectural drawings
 PH2 18.11.18 Submitted for Planning

PLANNING					
Drawn	Revised	By	Date	By	Date
Project Name					
Proposed Elevations					
Between Towns Road					
Drawn	Revised	By	Date	By	Date
RSJ	PT	A1	11/05		OCT 2015
12/02			06/21		P-03

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Crowell Road elevation

22



01 - EAST ELEVATION - CROWELL ROAD

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- ④ CHAMFERED BRICK DETAIL
- ⑤ ZINC CLADDING PANEL SYSTEM
- ⑥ ALUMINIUM DRIP DETAIL, POWDER COATED DARK GREY
- ⑦ ALUMINIUM PARAPET POWDER COATED DARK GREY
- ⑧ TONGUED & GROoved GLASS BALUSTRADE, STAINLESS BRUSHED STAINLESS STEEL HANDRAIL
- ⑨ FULL HEIGHT, ALUMINIUM FRAMED, POWDER COATED GLAZING SYSTEM TO APARTMENTS
- ⑩ TRIMMER LOUVER SYSTEM TO UNDERGROUND CAR PARK
- ⑪ PROPOSED STONE BOUNDARY WALL

PROJ: 17/25/17 Amendments to technical drawing
 (Revised drawing: Level elevations, Physical
 Accessibility) following planning submission
 PROJ: 16/11/16 Submitted for Planning
 REV: none date: none

PLANNING

Date:
 NewRiver
 Paper:
 Temple Square, County
 Site A
 Drawing No:
 Proposed Elevations
 Crowell Road

Rev	Revised	Project	Date	Rev
RSJ	FF	A1	11/06	OCT 2015
12/08			06/03	P-03

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 Tel: 0141 606 6844 www.corstorphine-wright.com



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Figures and dimensions are given in metres and feet. All dimensions must be read and the site and the drawings are to be interpreted as showing all walls and dimensions and not to be construed as showing all walls and dimensions.



- APARTMENTS PER FLOOR:**
(BLOCK A1 + A2)
- 1 BEDS = 2
 - 2 BEDS = 0
 - 3 BEDS = 4
 - TOTAL = 6**
- 1 bed
 2 bed
 3 bed
- Main Entrance
 Apartment Entrance

P401: 17.03.17 Amendments to security and internal
 P402: 16.11.16 Submitted for Planning

PLANNING

Site: NewRiver

Project: Temple Square, County

Scale: 1:100

Proposed Plans: Ground Level

Rev	By	Date	Description
1	ML	17.03.17	Initial design
2	ML	16.11.16	Submitted for Planning

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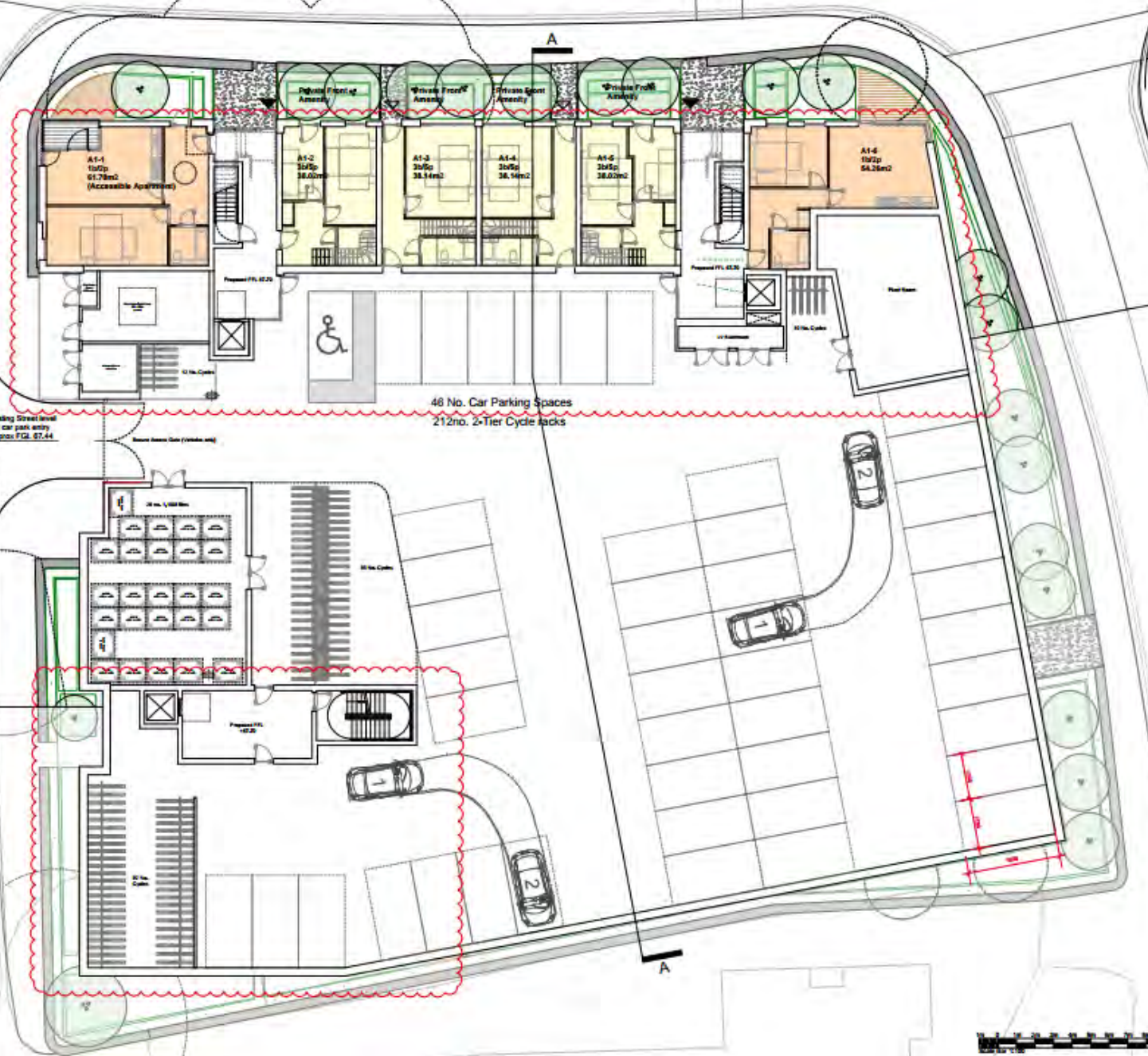
Architects

100 High Street, London E1 1AA

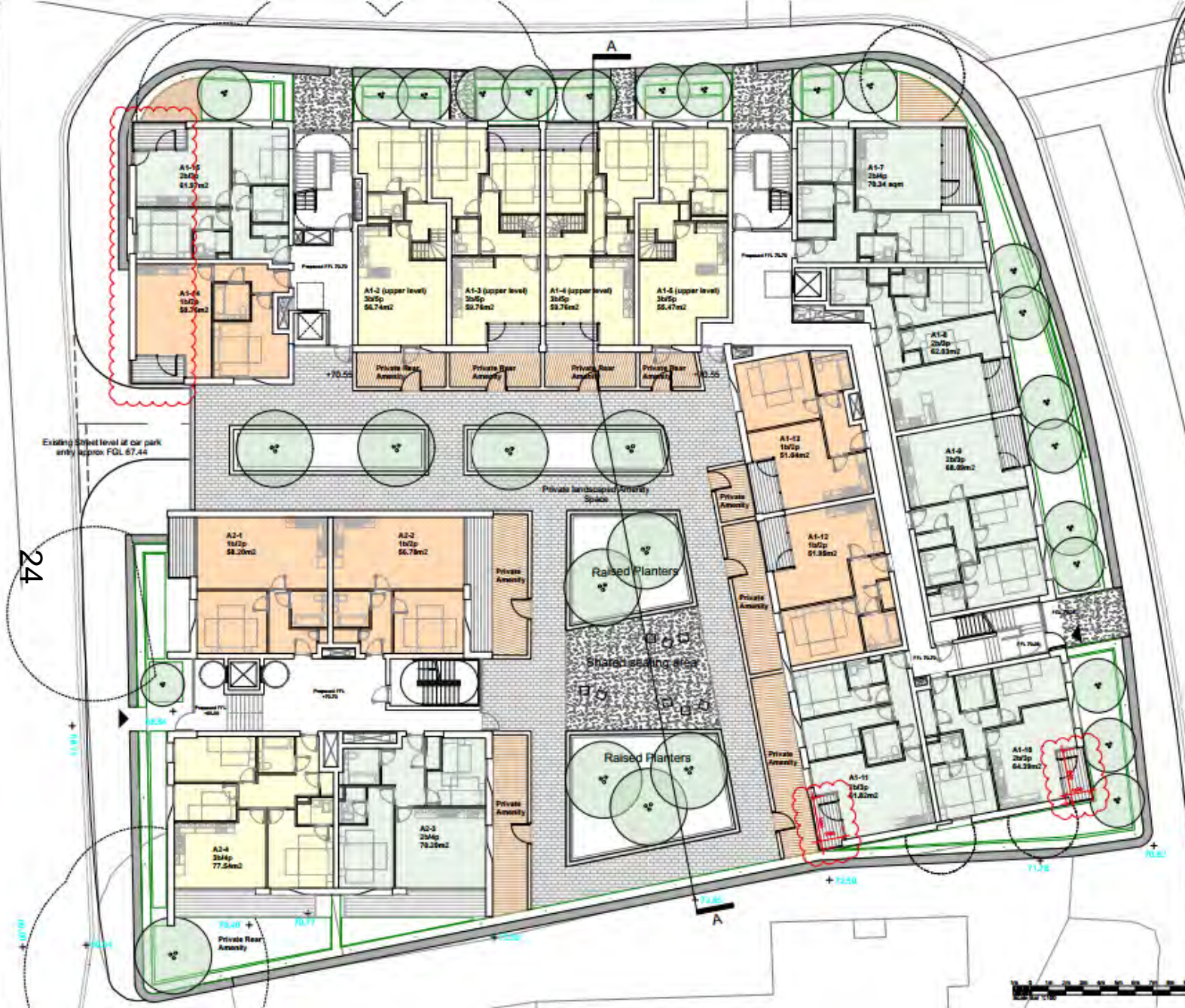
Tel: 020 7463 1000

www.corstorphinewright.com

23



Ground floor with car park



APARTMENTS PER FLOOR:
(BLOCK A1 + A2)

1 BEDS = 5

2 BEDS = 7

3 BEDS = 1

TOTAL = 13

1 bed

2 bed

3 bed

Main Entrance

Apartment Entrance

1 bed

2 bed

3 bed

1 bed

2 bed

3 bed

1 bed

2 bed

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P-01 17.03.17 New/works to amenity and external

P-02 18.11.18 Submitted for Planning

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P-01 17.03.17 New/works to amenity and external

P-02 18.11.18 Submitted for Planning

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P-02 18.11.18 Submitted for Planning

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P-01 17.03.17 New/works to amenity and external

P-02 18.11.18 Submitted for Planning

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P-01 17.03.17 New/works to amenity and external

P-02 18.11.18 Submitted for Planning

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P-01 17.03.17 New/works to amenity and external

P-02 18.11.18 Submitted for Planning

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P-01 17.03.17 New/works to amenity and external

P-02 18.11.18 Submitted for Planning

17.03.17

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P-01 17.03.17 New/works to amenity and external

P-02 18.11.18 Submitted for Planning

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18.11.18

P-01 17.03.17 New/works to amenity and external

P-02 18.11.18 Submitted for Planning

17.03.17

18.11.18

17.03.17

Floors 2-4



P-01: 17.03.17 Amendments to summary and internal
 P-02: 16.11.18 Submitted for Planning

PLANNING

Site: NewRiver

Page: Templates Square, Cowley Site A

Drawing No: Proposed Plans Level 02-04

Rev	By	Date	Rev	By	Date
001	ML	11/06	001	ML	11/06
002	ML	06/12	002	ML	06/12

12/08 06/12 04/1

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27






APARTMENTS PER FLOOR:

(BLKOK A1 = A2)

1 BEDS = 3
2 BEDS = 4
3 BEDS = 0
TOTAL = 7

 1 bed  Main Entrance

 2 bed  Apartment Entrance

 3 bed

P01	17.02.17	Amendments to identify and detail Revisions following planning comments	HA
P02	16.11.16	Submitted for Planning	HA
PLANNING			
Name NewRiver			
Project Templeton Square, Cowley Site A			
Drawing File Proposed Plans Lined/27			
Issue	Rev	Issue Date	Due Date
RGJ	001	A1	11:30
Approved Date 12/08/16		Approved By 06/17	Approved By P-04
			OCT 30/15



Floor 7



APARTMENTS PER FLOOR:

(BLOCK A1 + A2)

1 BEDS = 0

2 BEDS = 0

3 BEDS = 3

TOTAL = 3

- 1 bed Main Entrance
- 2 bed Apartment Entrance
- 3 bed

P-01 17.03.17 Amendments to security and internal
P-02 16.11.18 Submitted for Planning

Version: 001 Date: 16/11/18

PLANNING

Site:
New River

Project:
Temple Square, Coventry
Site A

Drawing No:
Proposed Plans
Level 08

Rev	Iss	Rev	Date	By
001	01	01	11/03	01
002	02	02	16/11	02

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Proposed plans and elevations for SITE F

Front elevation to Between Towns Road

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- ① RENDER SYSTEM IN LIGHT GREY (SPECIFICATION TBC)
- ② RECESSED BRICK PANEL
- ③ ALUMINUM FRAMED WINDOW SYSTEM POWDER COATED, DARK GREY
- ④ GLASS BALUSTRADE
- ⑤ PROPOSED DOCK ACCESS TO APARTMENTS
- ⑥ LIFT SHAFT WITH BUFF BRICK

R/C	STUDY	Layout presented to all 28 of apartment	164
1/F	STUDY	apartments in Cook Street & New River	164
2/F	STUDY	apartments in Cook Street & New River	164

NEW RIVER

Page

COWLEY SITE F

Quantity List

PROPOSED SOUTH ELEVATION

SITE F

Rev	Revised	By	Date
VL	ML	A 1	1:100
13/08		04/02	SEPT 2015

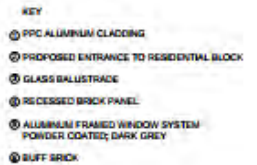
CONTEMPORARY + WRIGHT ARCHITECTS

14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100



Elevation 03 - South Elevation

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NEW RIVER

COWLEY SITE F

**PROPOSED NORTH ELEVATION
SITE F**

VL	ML	A1	1:100	SEPT 2015
Hepatitis B		Hepatitis C		HBsAg
12505		0460		P-82

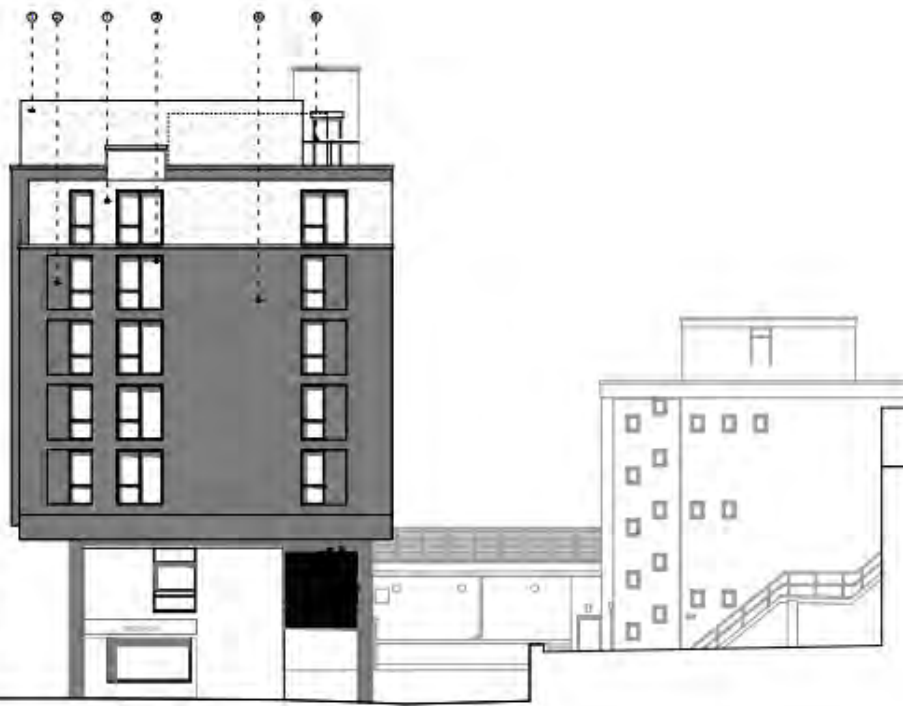
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Side elevation, Banjo Rd

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-08/16



- ① PPC ALUMINIUM CLADDING
- ② RECESSED BRICK PANEL
- ③ ALUMINIUM FRAMED WINDOW SYSTEM
POWDER COATED; DARK GREY
- ④ BUFF BRICK
- ⑤ GLASS BALUSTRADE

FILE	201617	Project	201617	Rev	01
DATE	201617	Project	201617	Rev	01
DATE	201617	Project	201617	Rev	01
DATE	201617	Project	201617	Rev	01

NEW RIVER

CONLEY SITE F

PROPOSED WEST ELEVATION
SITE F

Rev	01	Project	201617	Rev	01
DATE	201617	Project	201617	Rev	01
DATE	201617	Project	201617	Rev	01
DATE	201617	Project	201617	Rev	01

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Elevation 00 - East Elevation

BETWEEN TOWNS ROAD



- ① RENDER SYSTEM IN LIGHT GREY (SPECIFICATION TBC)
- ② GULLY BRICK
- ③ RECESSED BRICK PANEL
- ④ PPC ALUMINUM CLADDING
- ⑤ ALUMINUM FRAMED WINDOW SYSTEM POWDER COATED; DARK GREY
- ⑥ GLASS BALUSTRADE

P26	2/16/17	Logan attended to suit 281 of apartment	10.1
P26	2/22/17	Arrangements re P26 suit currently following planning	10.1
P26	4/11/16	Submitted for Planning	07
2017	04/01	Current	0000

NEW RIVER

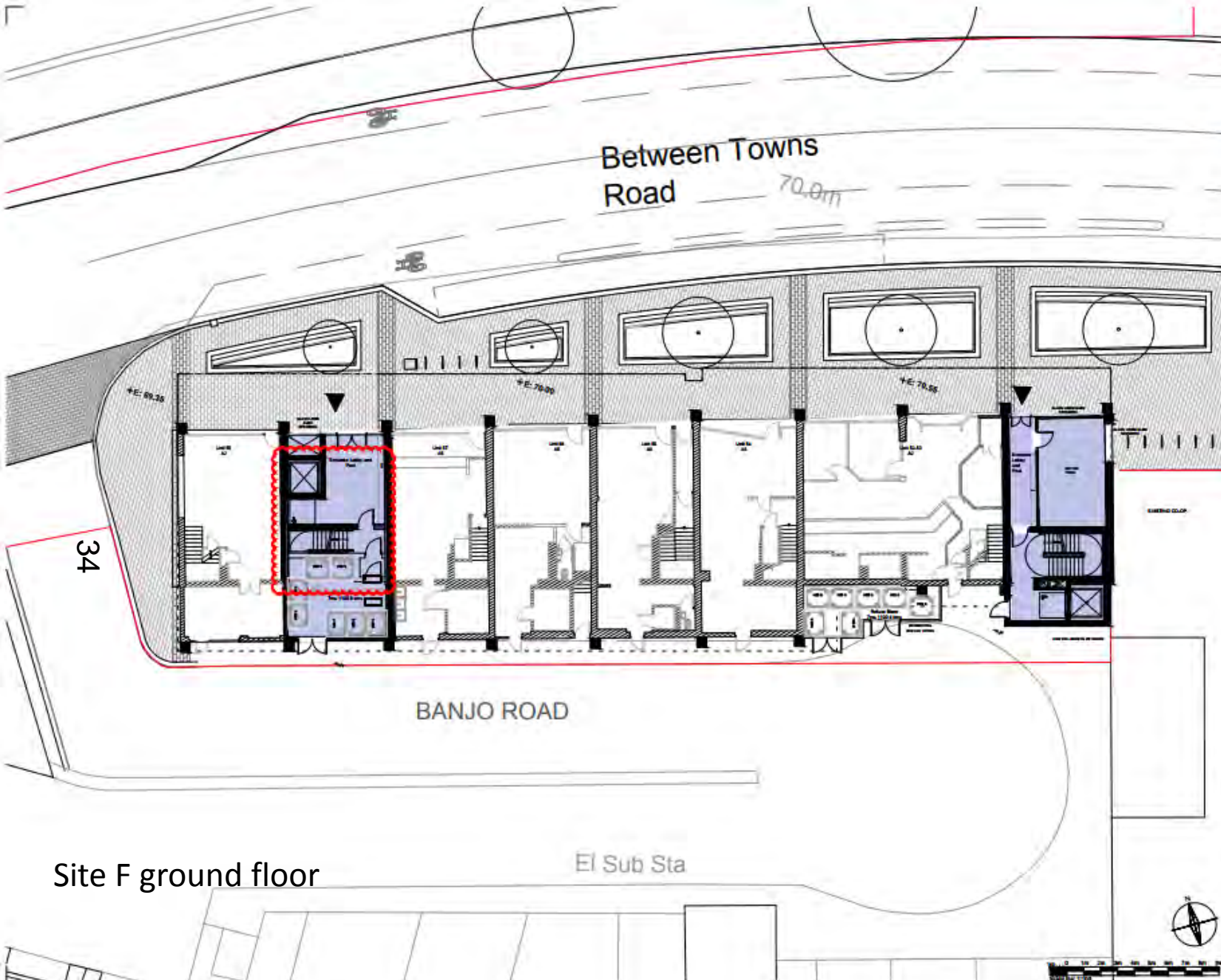
CONLEY SITE F

PROPOSED EAST ELEVATION
SITE F

Month	Phase	Project No.	Scale	Rev.
VE	AL	A1	1:100	SEPT 2015
Project No.			Revision No.	Revision
12928			0401	P-01

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Site F ground floor

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Figure dimensions only are for general reference. All work shall be carried out in accordance with the contract and the drawings. All work shall be carried out in accordance with the contract and the drawings. All work shall be carried out in accordance with the contract and the drawings.

SECTION

PROPOSED ENTRANCE CORES

PROPOSED WORKS

EXISTING STRUCTURE RETAINED

KEY ELEVATION

FILE	FILE	FILE	FILE	FILE
FILE	FILE	FILE	FILE	FILE
FILE	FILE	FILE	FILE	FILE
FILE	FILE	FILE	FILE	FILE
FILE	FILE	FILE	FILE	FILE

NEW RIVER

Project

TEMPLARS SQUARE, COWLEY

SITE F

Drawing Title

PROPOSED 00 LEVEL FLOOR PLAN

SITE F

Rev	Rev	Rev	Rev	Rev
VL	VL	VL	VL	VL
12/08	04/08	04/08	04/08	04/08

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Reading

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01628 658844
www.corstorphine-wright.com

70.011

3 BED APARTMENTS

KEY ELEVATION

36

El Sub Sta

Levels 2-5

NEW RIVER

PROPOSED 02-05 LEVEL FLOOR PLAN
SITE F

VL	ML	Input file	1:100	DATE	SEPT 2015
12938			0452		P-0

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 10/09/16

Between Towns
Road 70.0m

1 BED APARTMENTS

2 BED APARTMENTS

3 BED APARTMENTS



KEY ELEVATION

37

BANJO ROAD

Level 6

El Sub Sta

FOR 3D/2D Layout intended to be used for construction
 FOR 3D/2D Layout intended to be used for construction
 FOR 3D/2D Layout intended to be used for construction
 FOR 3D/2D Layout intended to be used for construction
 FOR 3D/2D Layout intended to be used for construction

NEW RIVER

Project
 TEMPLARS SQUARE, COWLEY
 SITE F

Drawing Title
 PROPOSED 06 LEVEL FLOOR PLAN
 SITE F

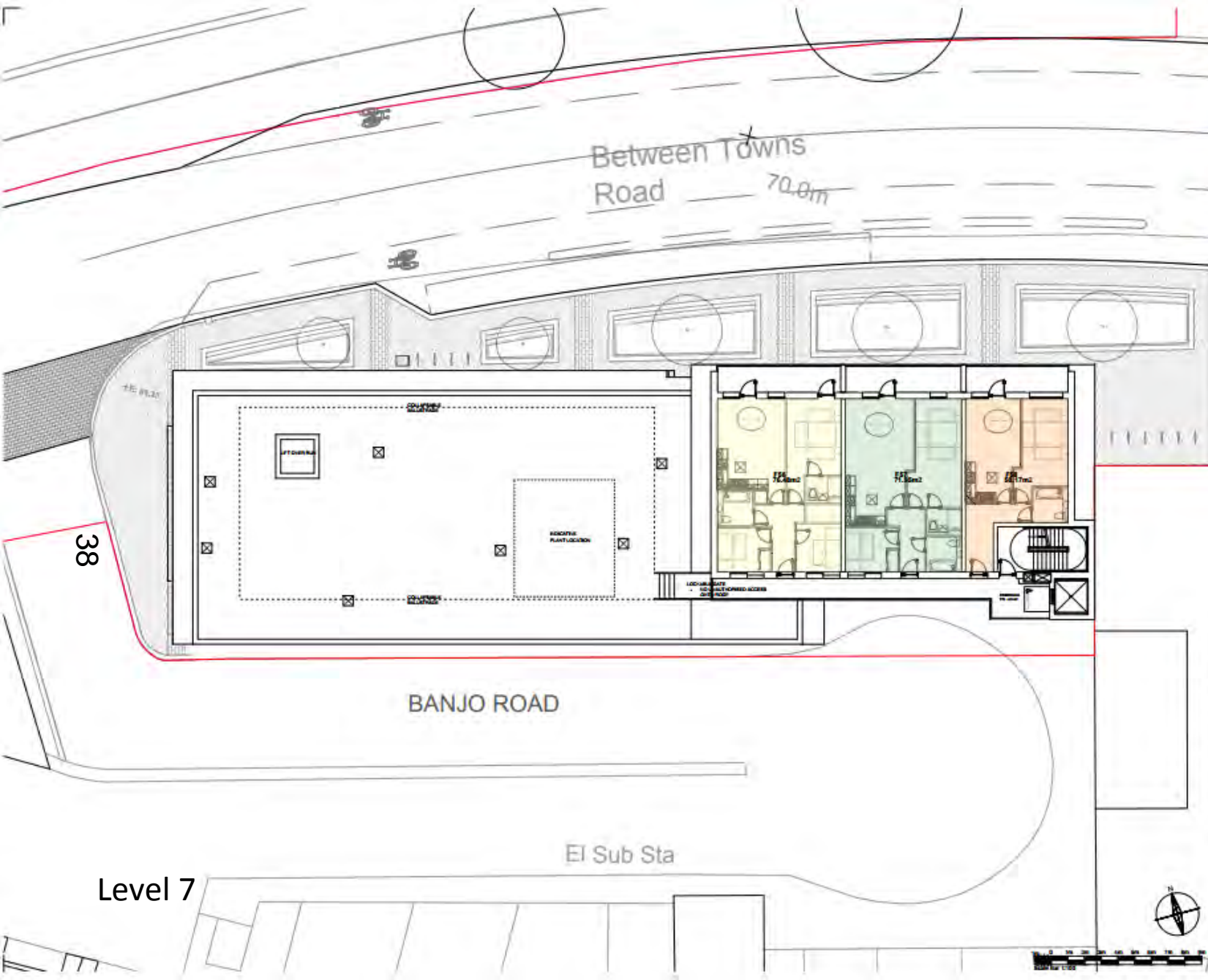
Rev	Desc	Date	By	App
01	Issue	11/09	AT	SEPT 2015
02	Issue	04/05	AT	P-02

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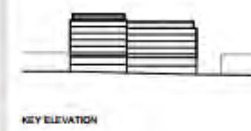
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 Notes:

- 1 BED APARTMENTS
- 2 BED APARTMENTS
- 3 BED APARTMENTS



1:20	1:20	1:20	1:20	1:20	1:20
1:20	1:20	1:20	1:20	1:20	1:20
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NEW RIVER

Figures

TEMPERATURE SQUARE, COWLEY

SITE F

Proposed 07 Level Floor Plan

SITE F

Rev	By	Date	Rev	By	Date
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2	ML	11/03	2	ML	11/03
3	ML	11/03	3	ML	11/03
4	ML	11/03	4	ML	11/03
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Proposed plans and elevations for SITE D

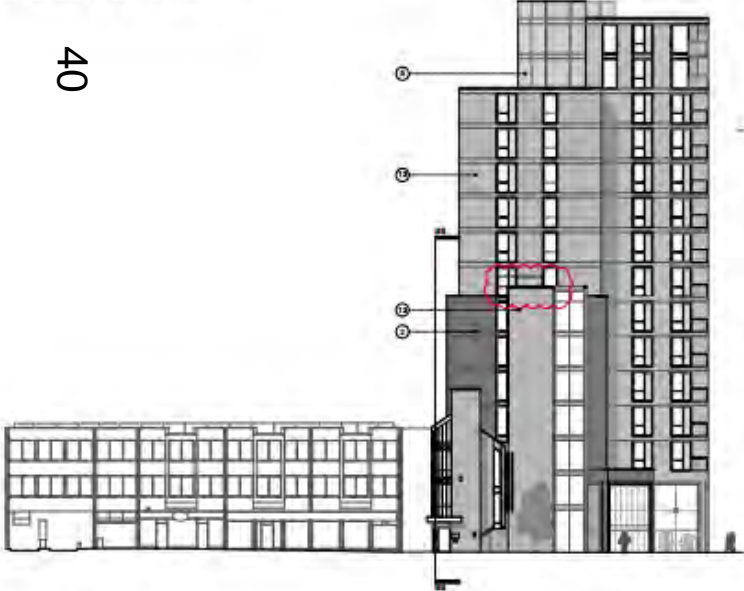
Site D Elevations

Front



01- North Elevation - Between Towns Road

40



02- East Elevation - Barn's Road



03- West Elevation - Gateway Entrance S



- 1 RECESSED BRICK DETAIL
- 2 RECESSED BRICK DETAIL
- 3 RECESSED BRICK DETAIL
- 4 RECESSED BRICK DETAIL
- 5 RECESSED BRICK DETAIL
- 6 RECESSED BRICK DETAIL
- 7 RECESSED BRICK DETAIL
- 8 RECESSED BRICK DETAIL
- 9 RECESSED BRICK DETAIL
- 10 RECESSED BRICK DETAIL
- 11 RECESSED BRICK DETAIL
- 12 RECESSED BRICK DETAIL
- 13 RECESSED BRICK DETAIL
- 14 RECESSED BRICK DETAIL

PLANNING

Project Name: Temple Square, County

Site ID: 01

Proposed Situations

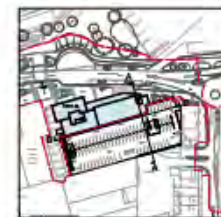
DATE	PROJECT	REVISION	SCALE	DATE
15/02/18	PT	A1	1:200	NOV 2015
15/02/18	PT	A1	1:200	NOV 2015

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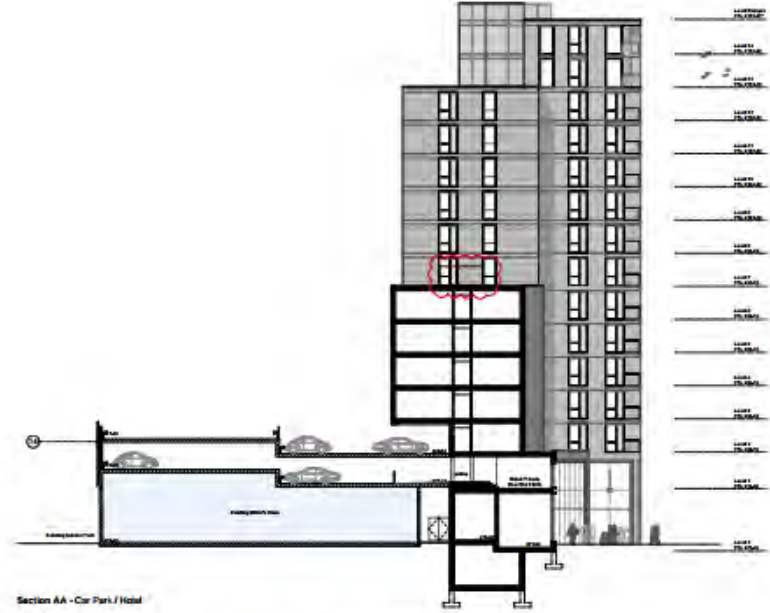
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 10/10/15

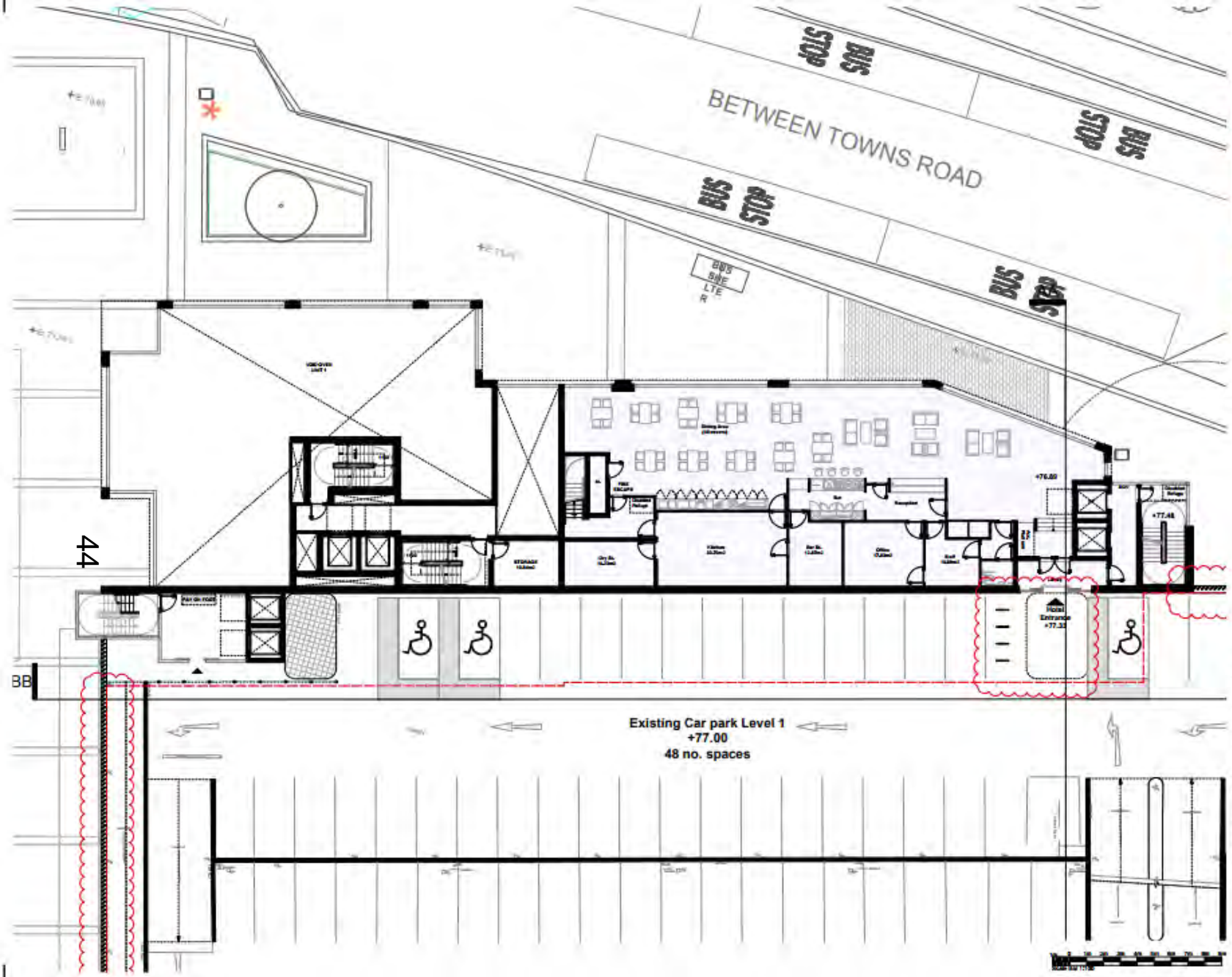


- ① WEBSIDE BRICK 1/2" CORNER FACED BRICK
- ② MATCHING BRICK STOCK LIGHT TEXTURE CLAY BRICK
- ③ RECESSED BRICK DETAIL
- ④ RECESSED MORTAR JOINT, COLOUR TWC
- ⑤ CHAMFERED BRICK DETAIL
- ⑥ BRUSH ANODISED METAL SPANDREL PANEL SYSTEM
- ⑦ ALUMINIUM FINISH DETAIL POWDER COATINGS DARK GREY
- ⑧ TOLERATED GLASS BALUSTRADE
- ⑨ RETAIL FRONT GLAZING SYSTEM ALUMINIUM FRAMES
- ⑩ STAINLESS STEEL SHOP SIGNAGE
- ⑪ FULL HEIGHT ALUMINIUM FRAMES, POWDER COATED GLAZING SYSTEM INTEGRATED OPENING LIGHTS
- ⑫ VERTICAL FIN SCREENING SYSTEM TO CAR PARK
- ⑬ STONE CLADDING SYSTEM TO EXISTING BRICK
- ⑭ STONE CLADDING SYSTEM
- ⑮ READER TO EXISTING BRICKWORK WALL

Section through with Barns Rd Car Park







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10/10/15

LEGEND

- 1 bed
- 2 bed
- 3 bed
- Hotel
- A3
- Roofed

APARTMENT SCHEDULE:
Block D = all Apartments / 71 bed hotel

1 BEDS	25
2 BEDS	40
3 BEDS	4

PLANNING

Site: New River
Address: Temple Square, Cowley
Site ID: P-01

PROPOSAL

Proposed Level 01

Rev	Rev	Rev	Rev	Rev
REL	PT	A1	1:100	OCT 2015
1:200		0013		P-01

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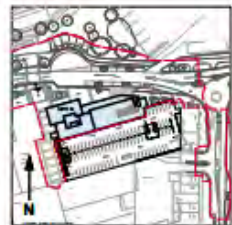
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Level 1



The applicant has planning consent for the development of the site as shown on the site plan. The applicant has also obtained consent for the development of the site as shown on the site plan. The applicant has also obtained consent for the development of the site as shown on the site plan.



Legend:

- 1 bed
- 2 bed
- 3 bed
- Hotel
- A2
- Retained

APARTMENT SCHEDULE:

Block D = 68 Apartments / 71 bed hotel

1 BEDS	26
2 BEDS	40
3 BEDS	4

P-01 17.03.17 Updated to Red line, highways and Public Rights
P-02 16.11.16 Submitted for Planning

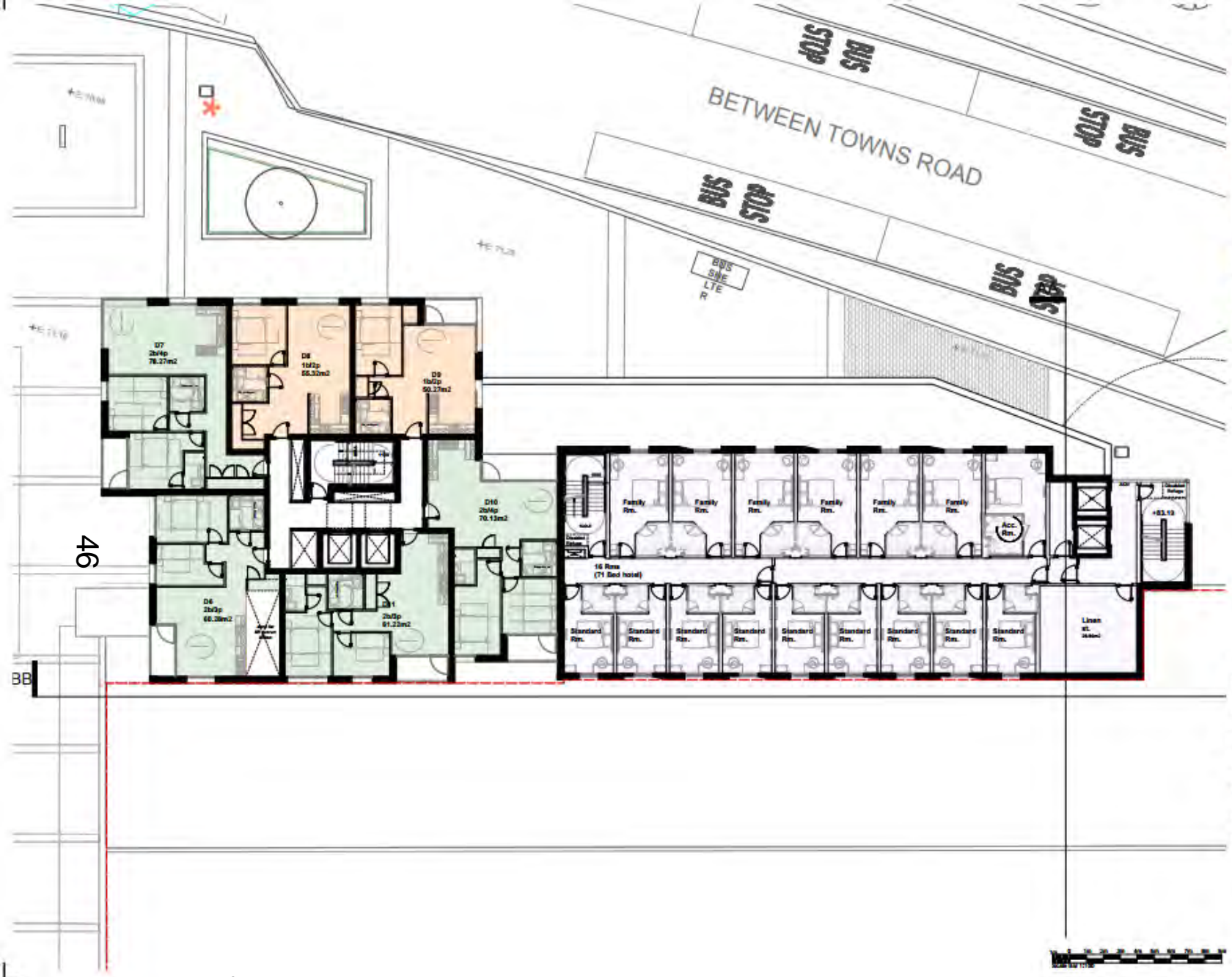
PLANNING

Site:
Name:
Page:
Tompson Square, Cowley
Site D
Scale:
Proposed Level 03

Rev	Author	Check	Date	Rev	Date
001	PT	A1	11:00	001	OCT 2015
1.000				001	P-01

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Level 3



- 11/11/2019

Block D = 68 Apartments /

1962a, 1962b, 1962c, 1962d, 1962e, 1962f, 1962g, 1962h, 1962i, 1962j, 1962k, 1962l, 1962m, 1962n, 1962o, 1962p, 1962q, 1962r, 1962s, 1962t, 1962u, 1962v, 1962w, 1962x, 1962y, 1962z, 1963a, 1963b, 1963c, 1963d, 1963e, 1963f, 1963g, 1963h, 1963i, 1963j, 1963k, 1963l, 1963m, 1963n, 1963o, 1963p, 1963q, 1963r, 1963s, 1963t, 1963u, 1963v, 1963w, 1963x, 1963y, 1963z, 1964a, 1964b, 1964c, 1964d, 1964e, 1964f, 1964g, 1964h, 1964i, 1964j, 1964k, 1964l, 1964m, 1964n, 1964o, 1964p, 1964q, 1964r, 1964s, 1964t, 1964u, 1964v, 1964w, 1964x, 1964y, 1964z, 1965a, 1965b, 1965c, 1965d, 1965e, 1965f, 1965g, 1965h, 1965i, 1965j, 1965k, 1965l, 1965m, 1965n, 1965o, 1965p, 1965q, 1965r, 1965s, 1965t, 1965u, 1965v, 1965w, 1965x, 1965y, 1965z, 1966a, 1966b, 1966c, 1966d, 1966e, 1966f, 1966g, 1966h, 1966i, 1966j, 1966k, 1966l, 1966m, 1966n, 1966o, 1966p, 1966q, 1966r, 1966s, 1966t, 1966u, 1966v, 1966w, 1966x, 1966y, 1966z, 1967a, 1967b, 1967c, 1967d, 1967e, 1967f, 1967g, 1967h, 1967i, 1967j, 1967k, 1967l, 1967m, 1967n, 1967o, 1967p, 1967q, 1967r, 1967s, 1967t, 1967u, 1967v, 1967w, 1967x, 1967y, 1967z, 1968a, 1968b, 1968c, 1968d, 1968e, 1968f, 1968g, 1968h, 1968i, 1968j, 1968k, 1968l, 1968m, 1968n, 1968o, 1968p, 1968q, 1968r, 1968s, 1968t, 1968u, 1968v, 1968w, 1968x, 1968y, 1968z, 1969a, 1969b, 1969c, 1969d, 1969e, 1969f, 1969g, 1969h, 1969i, 1969j, 1969k, 1969l, 1969m, 1969n, 1969o, 1969p, 1969q, 1969r, 1969s, 1969t, 1969u, 1969v, 1969w, 1969x, 1969y, 1969z, 1970a, 1970b, 1970c, 1970d, 1970e, 1970f, 1970g, 1970h, 1970i, 1970j, 1970k, 1970l, 1970m, 1970n, 1970o, 1970p, 1970q, 1970r, 1970s, 1970t, 1970u, 1970v, 1970w, 1970x, 1970y, 1970z, 1971a, 1971b, 1971c, 1971d, 1971e, 1971f, 1971g, 1971h, 1971i, 1971j, 1971k, 1971l, 1971m, 1971n, 1971o, 1971p, 1971q, 1971r, 1971s, 1971t, 1971u, 1971v, 1971w, 1971x, 1971y, 1971z, 1972a, 1972b, 1972c, 1972d, 1972e, 1972f, 1972g, 1972h, 1972i, 1972j, 1972k, 1972l, 1972m, 1972n, 1972o, 1972p, 1972q, 1972r, 1972s, 1972t, 1972u, 1972v, 1972w, 1972x, 1972y, 1972z, 1973a, 1973b, 1973c, 1973d, 1973e, 1973f, 1973g, 1973h, 1973i, 1973j, 1973k, 1973l, 1973m, 1973n, 1973o, 1973p, 1973q, 1973r, 1973s, 1973t, 1973u, 1973v, 1973w, 1973x, 1973y, 1973z, 1974a, 1974b, 1974c, 1974d, 1974e, 1974f, 1974g, 1974h, 1974i, 1974j, 1974k, 1974l, 1974m, 1974n, 1974o, 1974p, 1974q, 1974r, 1974s, 1974t, 1974u, 1974v, 1974w, 1974x, 1974y, 1974z, 1975a, 1975b, 1975c, 1975d, 1975e, 1975f, 1975g, 1975h, 1975i, 1975j, 1975k, 1975l, 1975m, 1975n, 1975o, 1975p, 1975q, 1975r, 1975s, 1975t, 1975u, 1975v, 1975w, 1975x, 1975y, 1975z, 1976a, 1976b, 1976c, 1976d, 1976e, 1976f, 1976g, 1976h, 1976i, 1976j, 1976k, 1976l, 1976m, 1976n, 1976o, 1976p, 1976q, 1976r, 1976s, 1976t, 1976u, 1976v, 1976w, 1976x, 1976y, 1976z, 1977a, 1977b, 1977c, 1977d, 1977e, 1977f, 1977g, 1977h, 1977i, 1977j, 1977k, 1977l, 1977m, 1977n, 1977o, 1977p, 1977q, 1977r, 1977s, 1977t, 1977u, 1977v, 1977w, 1977x, 1977y, 1977z, 1978a, 1978b, 1978c, 1978d, 1978e, 1978f, 1978g, 1978h, 1978i, 1978j, 1978k, 1978l, 1978m, 1978n, 1978o, 1978p, 1978q, 1978r, 1978s, 1978t, 1978u, 1978v, 1978w, 1978x, 1978y, 1978z, 1979a, 1979b, 1979c, 1979d, 1979e, 1979f, 1979g, 1979h, 1979i, 1979j, 1979k, 1979l, 1979m, 1979n, 1979o, 1979p, 1979q, 1979r, 1979s, 1979t, 1979u, 1979v, 1979w, 1979x, 1979y, 1979z, 1980a, 1980b, 1980c, 1980d, 1980e, 1980f, 1980g, 1980h, 1980i, 1980j, 1980k, 1980l, 1980m, 1980n, 1980o, 1980p, 1980q, 1980r, 1980s, 1980t, 1980u, 1980v, 1980w, 1980x, 1980y, 1980z, 1981a, 1981b, 1981c, 1981d, 1981e, 1981f, 1981g, 1981h, 1981i, 1981j, 1981k, 1981l, 1981m, 1981n, 1981o, 1981p, 1981q, 1981r, 1981s, 1981t, 1981u, 1981v, 1981w, 1981x, 1981y, 1981z, 1982a, 1982b, 1982c, 1982d, 1982e, 1982f, 1982g, 1982h, 1982i, 1982j, 1982k, 1982l, 1982m, 1982n, 1982o, 1982p, 1982q, 1982r, 1982s, 1982t, 1982u, 1982v, 1982w, 1982x, 1982y, 1982z, 1983a, 1983b, 1983c, 1983d, 1983e, 1983f, 1983g, 1983h, 1983i, 1983j, 1983k, 1983l, 1983m, 1983n, 1983o, 1983p, 1983q, 1983r, 1983s, 1983t, 1983u, 1983v, 1983w, 1983x, 1983y, 1983z, 1984a, 1984b, 1984c, 1984d, 1984e, 1984f, 1984g, 1984h, 1984i, 1984j, 1984k, 1984l, 1984m,

2007 40

5 DETS 4

NAME _____ **DATE** _____

NewsRiver



Temple Square, Cowley

Figure 1

Proposed Level 04-06

Wiederach
Lindberg

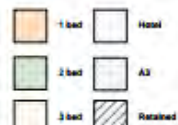
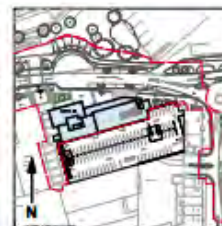
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THE OTHER PART OF THE EQUATION



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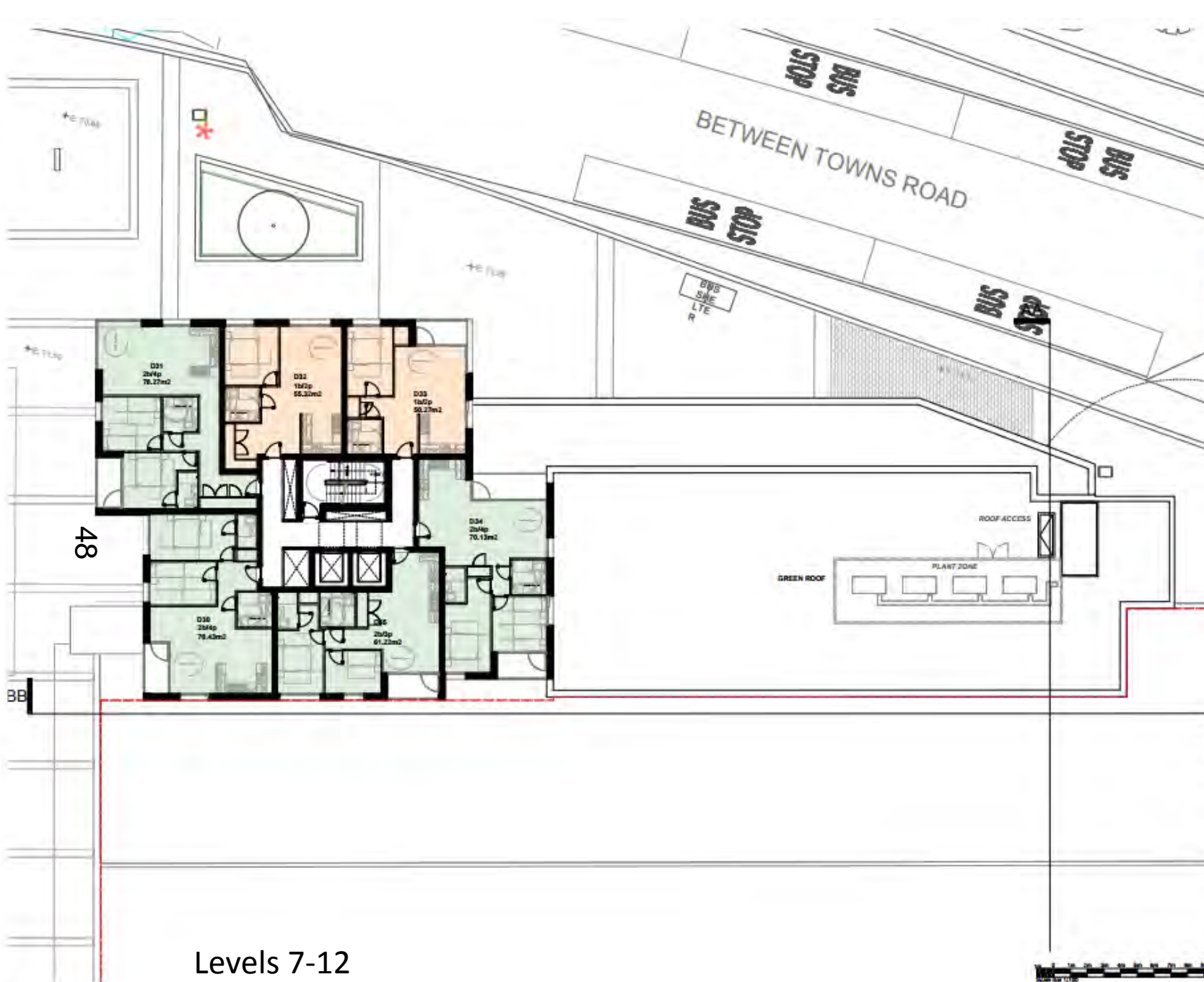
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APARTMENT SCHEDULE:

Block D = 68 Apartments / 71 bed hotel

1 BEDS 25
2 BEDS 40
3 BEDS 4



Levels 7-12

P-01 17.05.17 Update to Part 10, highways and 100%
Public Realm
P-02 16.11.16 Submitted for Planning 100%
Rev Date Description
000

PLANNING

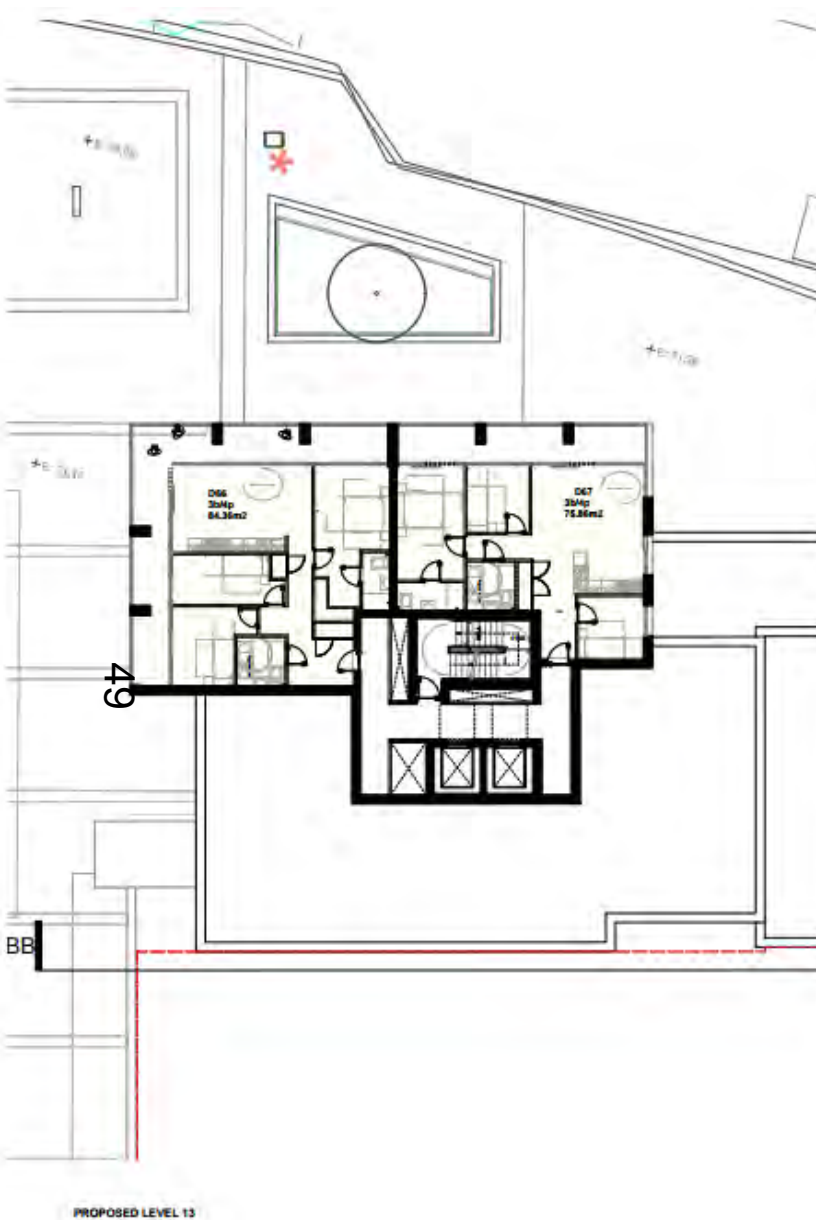
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NewRiver
Page
Temple Square, Cowley
Site D
Drawing No
Proposed Level 07-12

Rev	PT	Date	By	Check
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002	PT	16.11.16	AW	AW

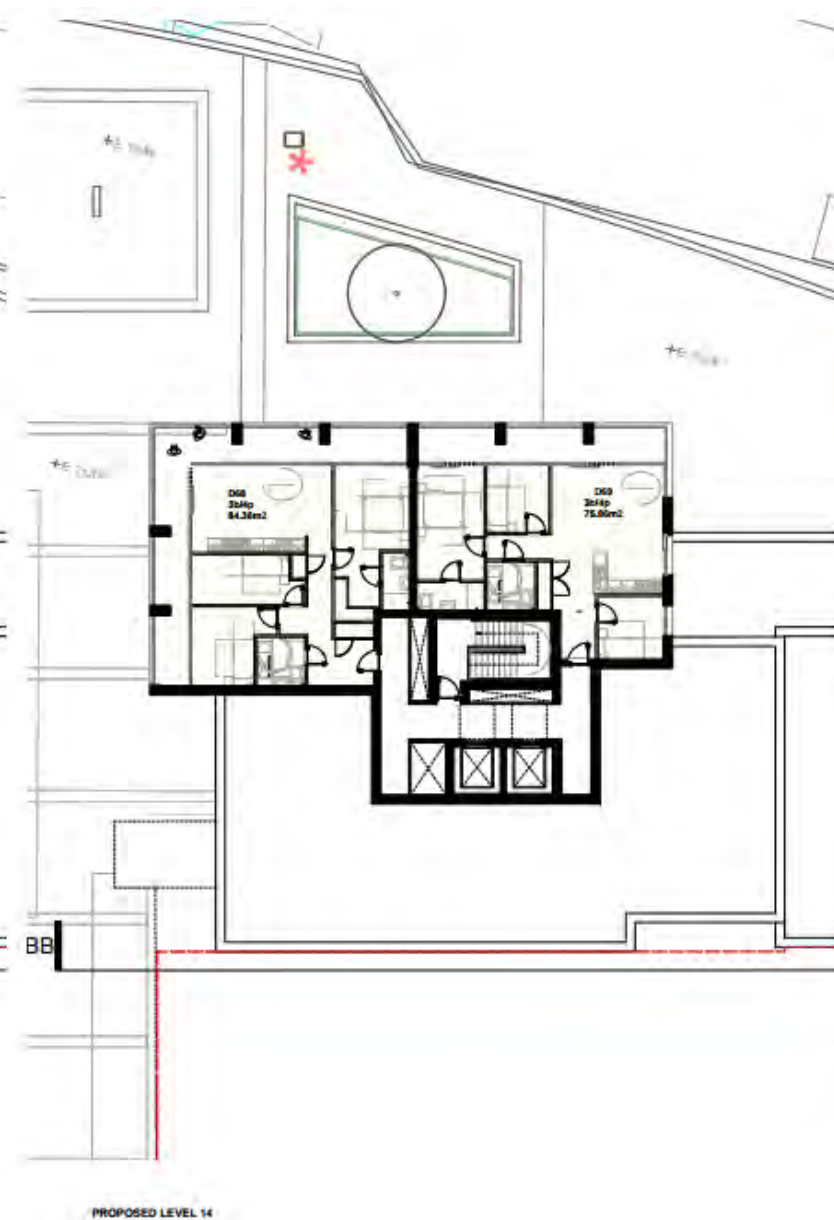
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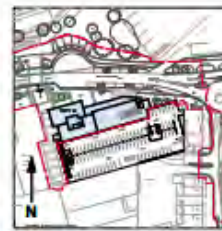


PROPOSED LEVEL 13



PROPOSED LEVEL 14

The construction of this building is subject to the approval of the Council of the City of London. All construction shall be in accordance with the approved plans and specifications. The construction of this building is subject to the approval of the Council of the City of London.



1 bed	Hotel
2 bed	A3
3 bed	Residential

APARTMENT SCHEDULE

Block D = 48 Apartments / 71 bed hotel

1 BEDS 25

2 BEDS 40

3 BEDS 4

PROJ: 17.05.17 Upgrades to the bus, highway and public roads

PROJ: 16.11.18 Submitted for Planning

Rev: 001

PLANNING

Site:

Final/Rev:

Page:

Temple Square, Coventry

Site D

Drawing No:

Proposed Level 13 & 14

Rev	Rev	Rev	Rev	Rev
001	PT	A1	1:100	OCT 2015
12018	0018			P-01

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Manchester
Nottingham
Cardiff

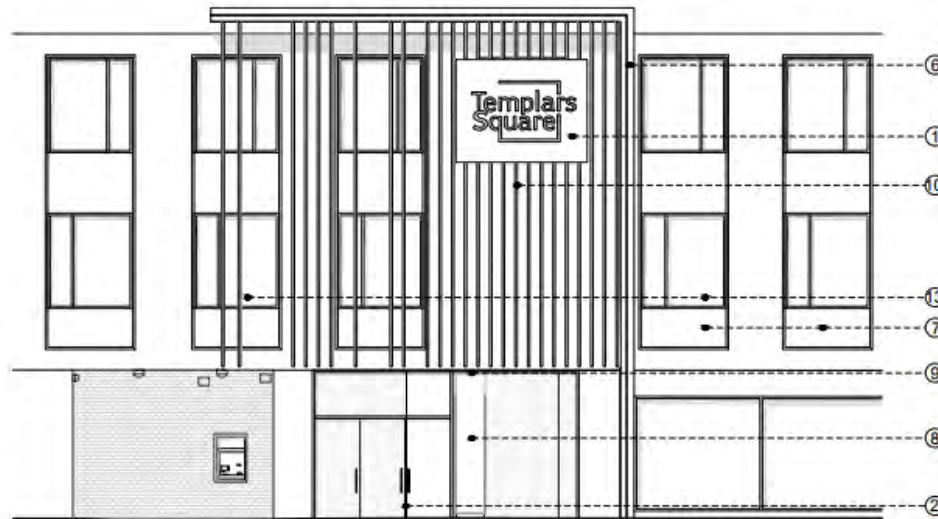
Block 100 Block Street Warwick CV34 6SE
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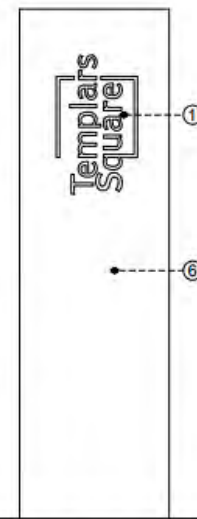
Levels 13 & 14

**Proposed plans and elevations for Barns Road and Knights Road car parks
And new entrances**

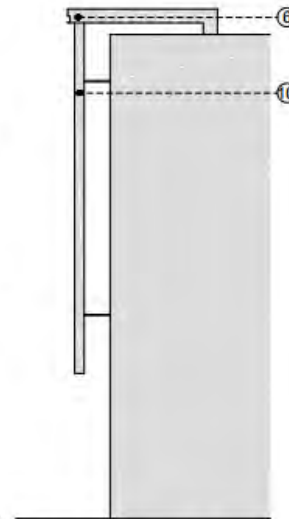
Second entrance to Centre on Between Towns Rd



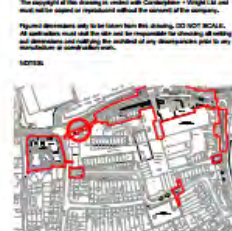
Proposed North Elevation 1:100



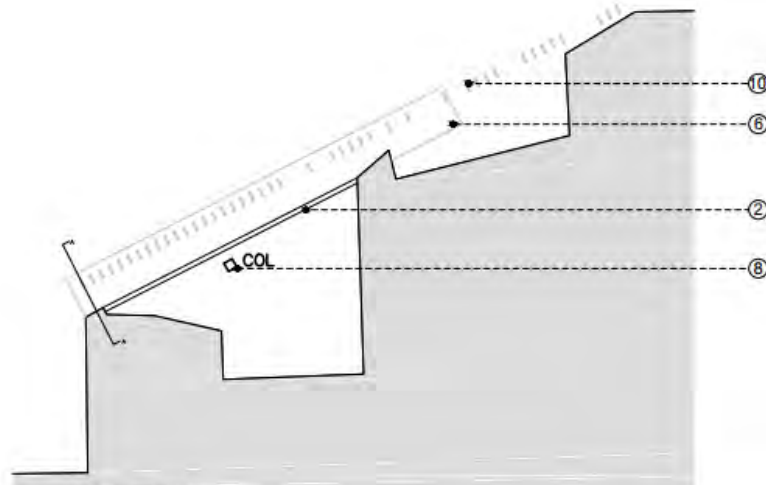
Proposed West Elevation 1:100



Proposed Indicative Section AA 1:100



- KEY
- ① PROPOSED NEW SIGNAGE (LOGO DESIGN TBC)
CUT OUT LETTERING FROM ANODISED METAL
PANEL COLOUR: BRONZE / GOLD
 - ② PROPOSED FRAMELESS GLASS DOORS TO
ENTRANCE BROUGHT FORWARD, TO REPLACE
EXISTING DOORS
 - ⑥ PROPOSED PRESSED METAL FRAME CLAD IN
ANODISED METAL
COLOUR: BRONZE / GOLD
 - ⑦ SPANDREL PANEL TO EXISTING WINDOWS IN
BRONZE / GOLD COLOUR
 - ⑧ EXISTING CONCRETE COLUMN SHOT BLASTED
AND LEFT EXPOSED
 - ⑨ LED DOWNLIGHTS IN SOFFIT
 - ⑩ ANODISED ALUMINIUM FINS IN BRONZE / GOLD
 - ⑬ EXISTING WINDOW OPENINGS MAINTAINED
WITH NEW WINDOW FRAMES



Proposed Plan 1:100



Proposed CGI Images

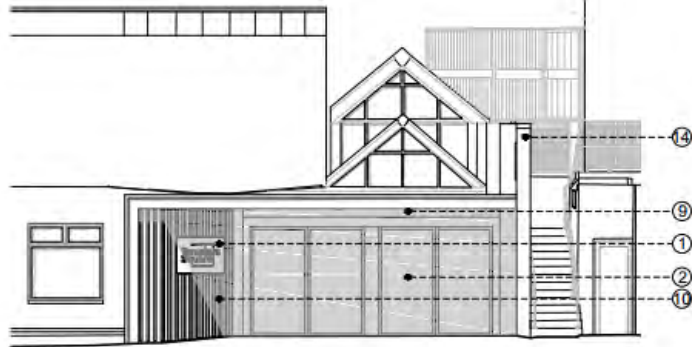
DATE	15/11/16	APPROVED BY	PROJECT	NO.
BY	DATE	NO.		
Client	New River			
Project	Templars Square, Cowley Between Towns Road Entrance			
Drawing Title	Proposed Between Towns Road Entrance Plans and Elevations			
Drawn	VL	Checked	PT	Page No.
				A3
Scale	VARIES		Date	OCT 2015
Project No.	12928	Drawing No.	0701	Sheet
				P-00

CORSTORPHINE + WRIGHT ARCHITECTS

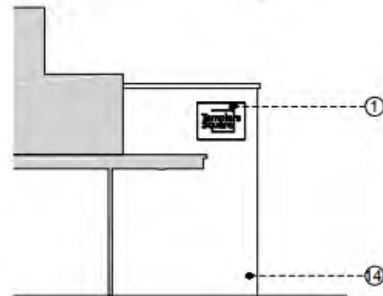
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Dulwich

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Hockmore Street entrance (near to Crowell Rd)



Proposed South Elevation 1:100

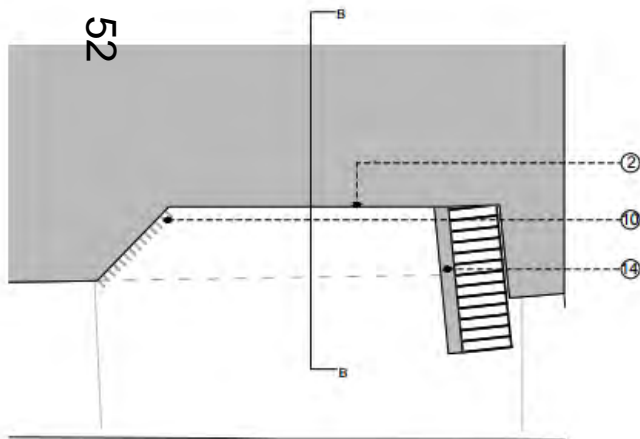


Proposed Indicative Section BB 1:100



KEY

- ① PROPOSED NEW SIGNAGE (LOGO DESIGN TBC)
CUT OUT LETTERING FROM ANODISED METAL
PANEL COLOUR: BRONZE / GOLD
- ② PROPOSED FRAMELESS GLASS DOORS TO
ENTRANCE BROUGHT FORWARD, TO REPLACE
EXISTING DOORS
- ⑨ LED DOWNLIGHTS IN SOFFIT
- 10 ANODISED ALUMINIUM FINS IN BRONZE / GOLD
- 14 LITHODECOR AIRTEC STONE RAINSCREEN
CLADDING SYSTEM
COLOUR: SUNSHINE STONE / SANDSTONE,
YELLOWISH BROWN



Proposed Plan 1:500



Proposed CGI Image

P02 16.11.14		Submitted for Planning		NOI
REV	DATE	BY	REASON	DATE
01				
NEW RIVER				
Project				
TEMPLARS SQUARE, COWLEY HOCKMORE STREET WEST ENTRANCE				
Drawing Title				
PROPOSED HOCKMORE STREET WEST ENTRANCE PLANS AND ELEVATIONS				
VL	PT	A3	VARIES	OCT 2015
Project No	12908	Drawing No	0703	Revision
				P-00

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Hockmore Street entrance

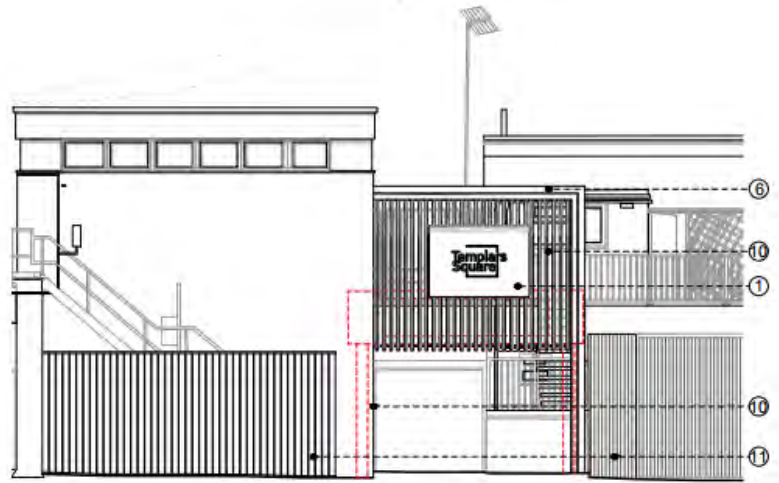
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NOTES:

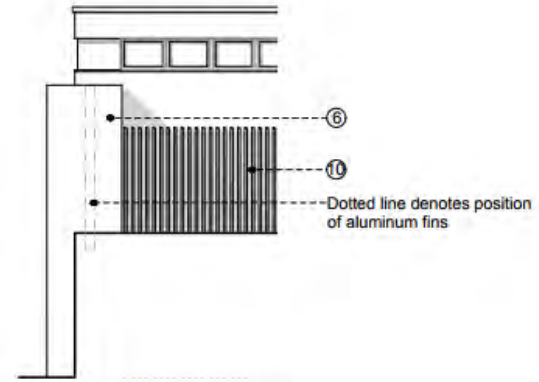


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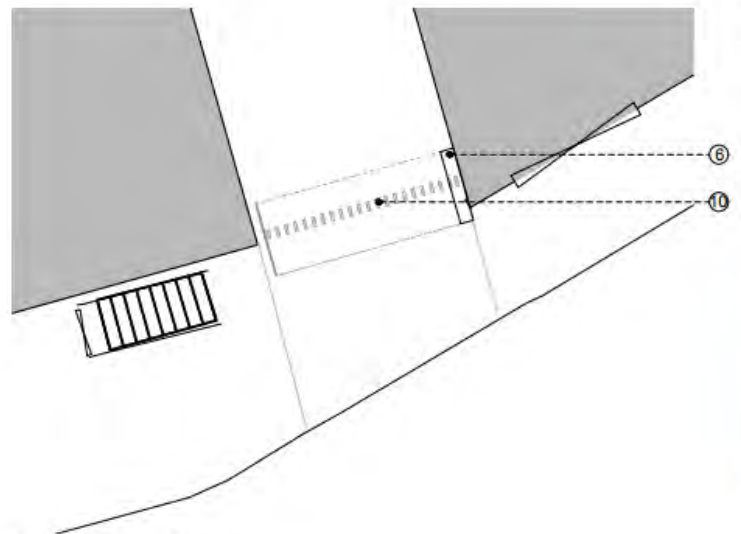
- ① PROPOSED NEW SIGNAGE (LOGO DESIGN TBC)
CUT OUT LETTERING FROM ANODISED METAL
PANEL COLOUR: BRONZE / GOLD
- ⑤ EXISTING SIGNAGE / SIGNAGE TOTEM REMOVED
- ⑥ PROPOSED PRESSED METAL FRAME CLAD IN
ANODISED METAL
COLOUR: BRONZE / GOLD
- ⑩ ANODISED ALUMINIUM FINS IN BRONZE / GOLD
- ⑪ TIMBER SCREEN PANELS



Proposed South Elevation 1:100



Proposed East Elevation 1:100



Proposed Plan 1:500



Proposed CGI Image

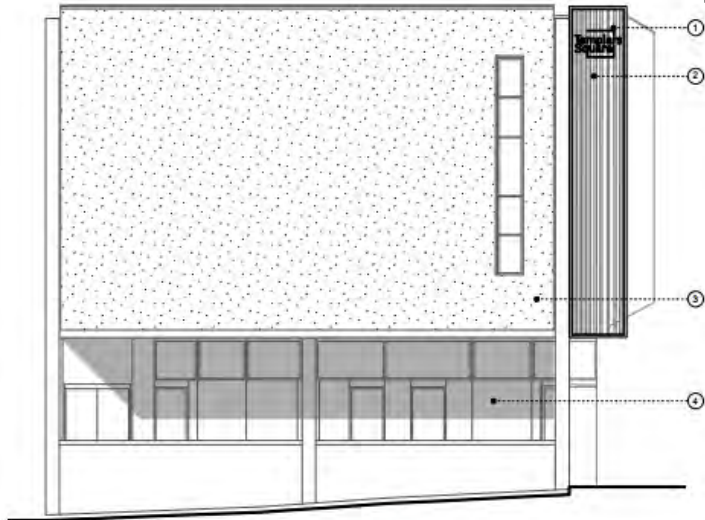
PUB: 16.11.16 - Submitted for Planning				
Rev	001	001	001	001
Client				
NEW RIVER				
Project				
TEMPLARS SQUARE, COWLEY				
HOCKMORE STREET EAST ENTRANCE				
Drawing title				
PROPOSED HOCKMORE STREET EAST ENTRANCE PLANS AND ELEVATIONS				
Rev	VL	PT	A3	VARIES
Project No.	12928	Sheet No.	0705	Date
				OCT 2015
				Rev
				P-00

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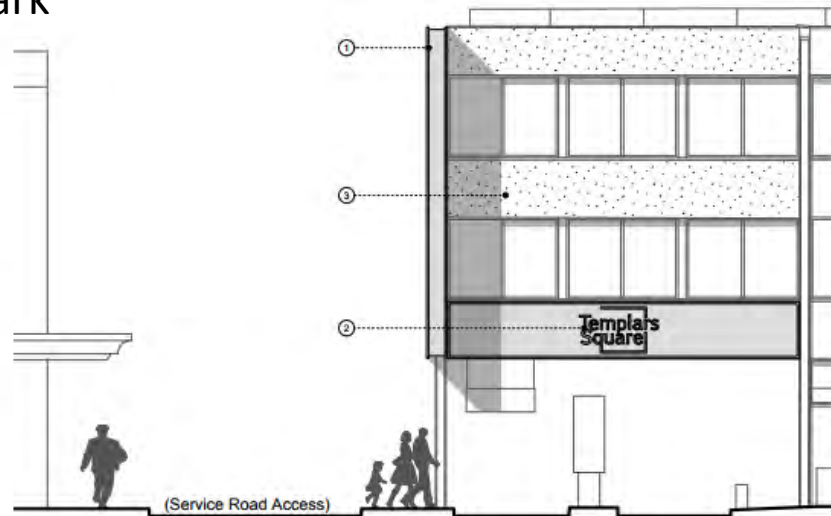
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Barns Road entrance to car park



01- service road Elevation -1:100



02- Barns Road Elevation -1:100



Existing Site Plan -1:1000

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NOTES



- 1 ANODISED METAL FINIS IN BRONZE FINISH
- 2 PROPOSED SIGNAGE (LOGO TBC) BRUSHED STAINLESS STEEL CUT OUT LETTERING
- 3 PROPOSED RENDER TREATMENT TO EXISTING FACADE
- 4 EXISTING BRICKWORK TO BE CLEANED AND MADE GOOD



P-01 17.03.17 Update to Highways RBU
P-02 16.11.16 Submitted for Planning RBU
Author: RBU Date: 16/11/16

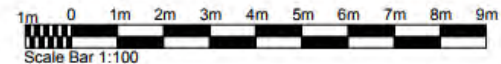
PLANNING

Client:
NewRiver
Project:
Templars Square, Cowley
Site D
Drawing title:
Barns Road Car Park Entrance
Proposed Plans and Elevations

Drawn	Checked	Plan No	Date	Date
RBU	ML	A3	VARES	FEB 2016
12/02			0731	P-01

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Knight's Road Car Park proposed elevations

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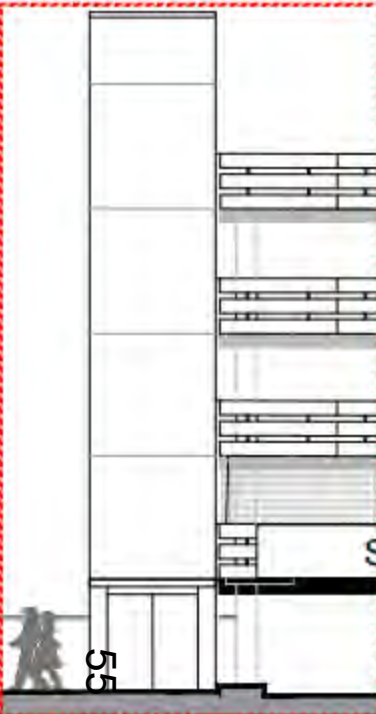
Key Plan 1:1000

- ① CORRUGATED PLASTIC
- ② PROPOSED LIFT, WITH
- ③ CAR PARK ENTRANCE
- ④ EXISTING CONCRETE
- ⑤ EXISTING STAIRCASE
- ⑥ WIRE MESH FENCE
- ⑦ EXISTING CURVED
- ⑧ EXISTING CONCRETE

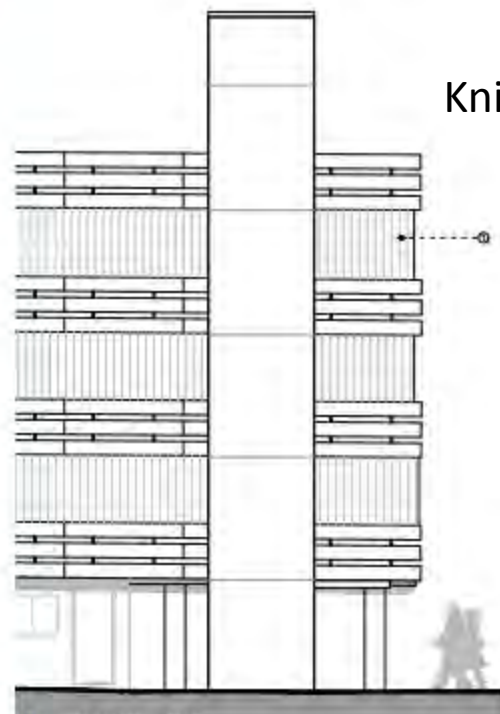
Full Name: Knight's Road Car Park
 Address: Knight's Road, Coulsay, Oxford, OX4 1JH
 Site: Knight's Road Car Park
 Proposed Elevation: 1:100
 Date: 12/2/20

COO

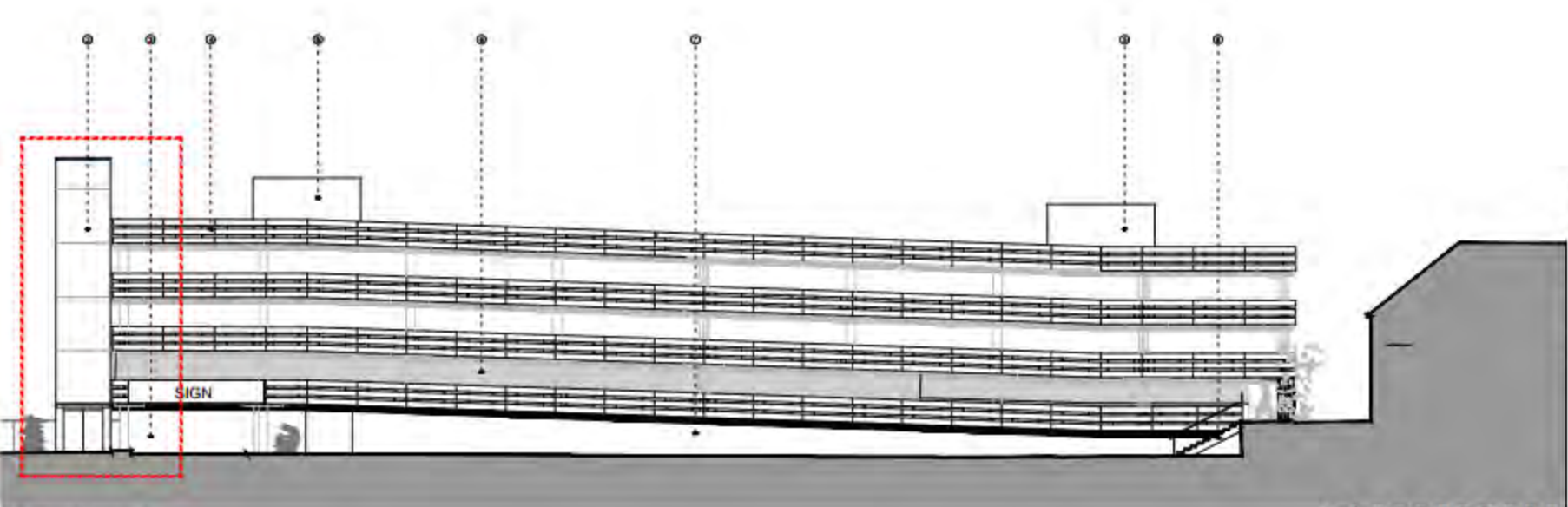
Green



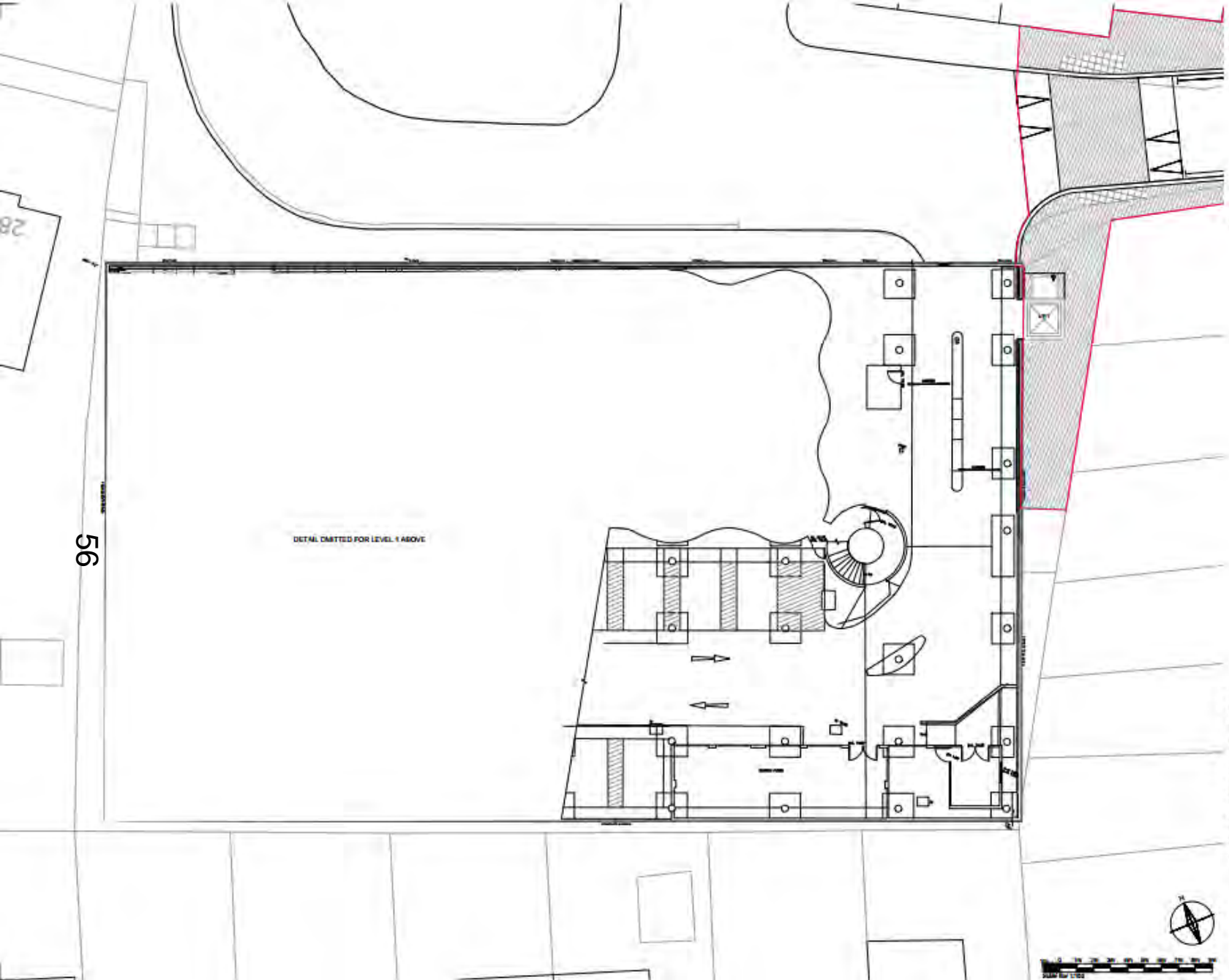
01. Proposed Part North Elevation 1:50



02. Proposed Part East Elevation 1:50



03. Proposed North Elevation 1:100



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 10/10/15

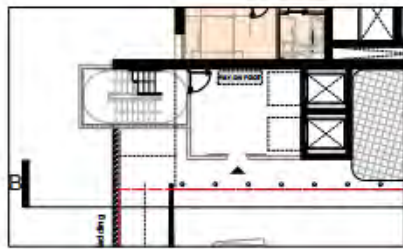
Key Plan 1:25000

Title: Knight's Road Car park			
Author	Drawn	Checked	By
New River			
Project			
Trentham Square			
Convent, Oxford			
Site C			
Drawing No.			
Proposed Ground Floor Plan			
Site C			
Sheet	Project	Drawn by	Date
VL	PT	A1	1:100
1/25/15	03/10		OCT 2015
			P-00

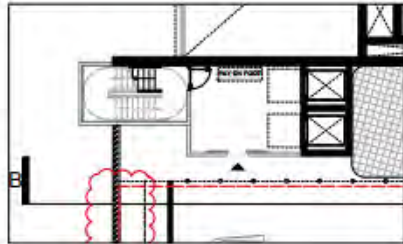
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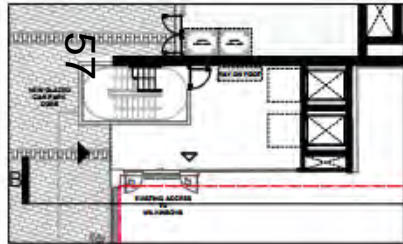
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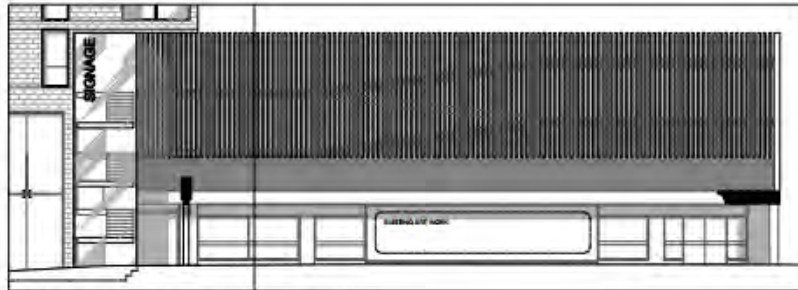
Level 03 Plan - PROPOSED - 1:100



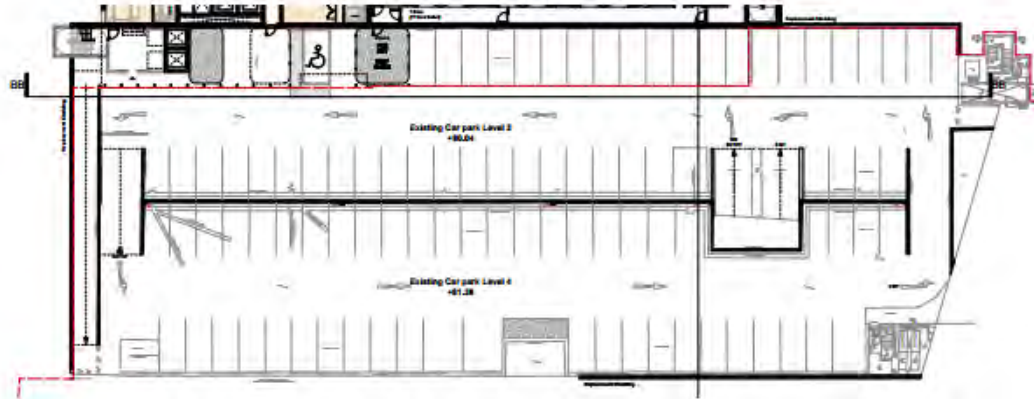
Level 01 Plan - PROPOSED - 1:100



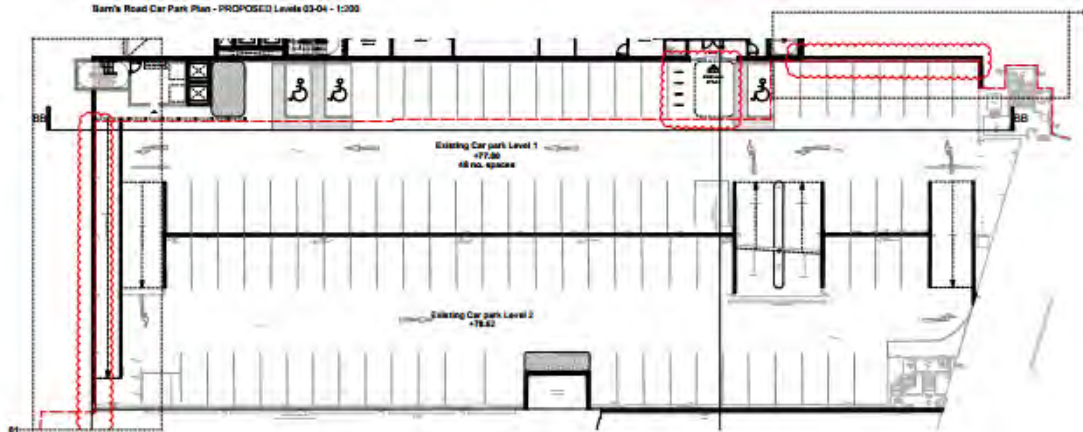
Barns Road - Pedestrian Entrance - PROPOSED - 1:100
Ground Level



01- Barns Road Car Park Entrance (Pedestrian) PROPOSED WEST ELEVATION - 1:100



Barns Road Car Park Plan - PROPOSED Levels 03-04 - 1:200



Barns Road Car Park Plan - PROPOSED Levels 01-02 - 1:200

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P-01 17.03.17 Red line Arterial: Staff cycle parking 100
P-02 16.11.16 Submitted for Planning 100
100 100 100

PLANNING

Site
New River

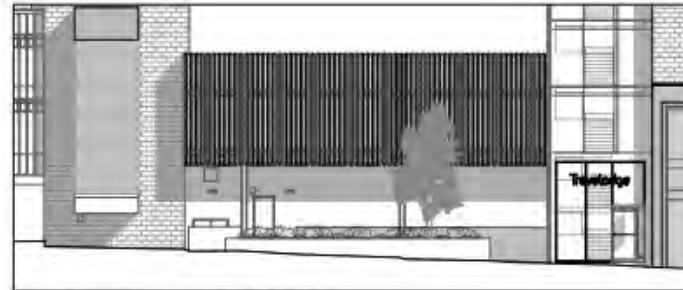
Project
Temple Square, County
Site D

Client
Barns Road Car Park
Proposed Refurbishment

Rev	By	Date	Description
001	PT	A1	VARIES
1/2018		05/11	02/2018
			P-01

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02- Between Towns Road Elevation - PROPOSED NORTH ELEVATION - 1:100

Barns Road Car park proposed elevations

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LOCAL VIEWS:
Existing and Proposed

Verified View from junction of
Between Towns Road and
Oxford Road

59



EXISTING



PROPOSED

FIGURE TVI40
View 1: Looking west along Between Towns Road
from Oxford Road junction. Intervening buildings and
road curvature screen views of the Site proposals.
(Verified Views)

View from further along Between Towns Road



EXISTING



PROPOSED

FIGURE TVI42
View 2: One of a set of sequential views moving west towards the Site, in which the proposed tower becomes visible above existing buildings. Not a Verified View but building outline indicated, generated from the model.

Verified Views
along
Between
Towns Road

EXISTING



61

PROPOSED



1.1 LOCAL TOWNSCAPE VIEWS



EXISTING

Verified View from junction of
Between Towns Road and
Barns Road



PROPOSED

FIGURES TVI45 & TVI46

View 4: View from Between Towns Road/barns Road junction showing the stepped increase in height from the existing, retained facades via the hotel, to the tower. (Verified View)

1.1 LOCAL TOWNSCAPE VIEWS

Verified View from within John Allen Centre towards Site D and Site F

03



EXISTING



PROPOSED

FIGURES TVI47 & TVI48

View 5: : One of two views from the John Allen Centre car park, looking south east, showing the greater enclosure generated by the Site proposals on the far side of Between Towns Road. An early morning photo with a car park free of the activity normally associated with the Centre. (Verified View)

1.1 LOCAL TOWNSCAPE VIEWS

Verified View from within John Allen Centre towards Site A

EXISTING



PROPOSED



FIGURES TVI49 & TVI50
View 6: As View 5, but looking south west
towards Site A where the existing MSCP would
be replaced by a residential block. (Verified
View)

1.1 LOCAL TOWNSCAPE VIEWS

Verified View along Between Towns Road showing new entrance and Site A on the Corner of Crowell Road

EXISTING



65

PROPOSED



FIGURES TVI51 & TVI52

View 7: View toward the proposed residential block, Site A which forms the main element of change. Note also changes to public realm and façade treatment to the Shopping Centre in the left foreground. (Verified View)

1.1 LOCAL TOWNSCAPE VIEWS

View of Site D- existing and CGI proposed

88

EXISTING



PROPOSED



FIGURES TVI53 & TVI54
View 8: The existing view shows the pedestrian crossing providing a link between the John Allen Centre and Templars Square Shopping Centre entrances. There is no direct equivalent view of the proposal available but a CGI view is included from a similar viewpoint which shows the main elements of the change in the view: the new mixed use block in the foreground, the residential tower and the hotel in the distance.

1.1 LOCAL TOWNSCAPE VIEWS

Verified View from Beauchamp Lane towards Site A

67

EXISTING



PROPOSED



FIGURES TVI55 & TVI56

View 9: Beauchamp Lane, in the Conservation Area, looking from the vicinity of the church towards Between Towns Road. The narrow lanes and building enclosure tend to limit views towards Templars Square. In this instance only the tip of the development on Site A would be visible in the distance.(Verified View)

View further along Beauchamp Lane towards Site A





View on Beauchamp Lane
towards Site A.

CGI of the new buildings below

FIGURE TV157



CGI of [Site A](#) fronting Beauchamp Lane, illustrating the sympathetic use of materials which respond to the Beauchamp Lane Conservation Area

Verified views on Crowell Road towards Site A



EXISTING



PROPOSED

FIGURES TVI58 & TVI59
View 11: Looking along Crowell Road towards Site A. The principal change in the view will be the demolition of the MSCP and the link bridge to the Shopping Centre and the proposed replacement residential block, as shown in these images. (Verified View)

Street view towards Sites A, F and D from Crowell Road. Building locations identified only



FIGURES TV158 & TV159

Views on Hampden Road towards Site A



EXISTING



PROPOSED

Although the building is not visible from the street, it would be from the rear gardens

FIGURE TVI60

View 12: View from Hampden Road to the south. The proposed development is not visible in this view but would be visible from the rear of properties on the left hand side.

1.1 LOCAL TOWNSCAPE VIEWS



EXISTING



PROPOSED

FIGURE TVI61

View 13: View from the Grates to the south. The proposed development is not visible in this view but would be visible from the rear of properties on the left hand side. The proposed tower is shown indicatively. Not a Verified View but building outline indicated, generated from the model.

View from The Grates
with modeled CGI view

1.1 LOCAL TOWNSCAPE VIEWS

Verified views on The Grates, Site D
visible to RHS



EXISTING



Verified views on Liddell Road, Site D visible to the RHS



EXISTING



PROPOSED

FIGURES TVI62 & TVI63

View 14: View along Liddell Road residential area towards Templars Square Shopping Centre. The proposed tower is visible to the right of the Hockmore Tower. (Verified View)

Views along Barns Road – these are kinetic and at this point the buildings are not visible

1.1 LOCAL TOWNSCAPE VIEWS



EXISTING



PROPOSED

FIGURE TVI66

View 16: A distant view along Barns Road northwards, with the Hockmore tower visible beyond the trees. The proposed tower would be visible from places along this route depending on location (as in View 17 below), and would increase in visibility as the viewpoint moves north. In this particular view it is screened by the trees to the right.

View from Barns Road

1.1 LOCAL TOWNSCAPE VIEWS



EXISTING



PROPOSED

FIGURE TVI67

View 17: A closer view near the entrance to the Shopping Centre on Barns Road.

The foreground is dominated by the existing shops with the Hockmore Tower in the background. In the proposal, the proposed tower would occupy a position in the background with public realm and entrance improvements on Barns Road. Not a Verified View but building outline indicated, generated from the model.

Verified view from Rymers Lane towards Site A

1.1 LOCAL TOWNSCAPE VIEWS



EXISTING



PROPOSED

FIGURES TVI68 & TVI69
View 18: A view from the suburb to the north looking south along Rymers Lane towards Site A. The change will be from the view of the MSCP to that of the proposed residential block.
(Verified View)

Verified view from Church Cowley Road



EXISTING



PROPOSED

FIGURES TVI70 & TVI71

View 19: This and View 20 are along the same axis from the west, looking towards the Shopping Centre. The proposed residential development and the tower are clearly visible at the centre of the view. (Verified View)

1.1 LOCAL TOWNSCAPE VIEWS

View from closer
along Church Cowley
Road



EXISTING



PROPOSED

FIGURE TVI72
View 20: : A similar view closer to the Site.
Not a Verified View but building outline indicated, generated from the model.

View from within John Allen Park, which shows the large Lombardy Poplars that Form a visual barrier to the development.



FIGURE TVI73
View 21: An existing view from the recreation space north of Between Towns Road. The screening effect of the poplars precludes the inclusion of a view after the proposed development, but Site D would provide an enclosed and taller block of development visible between the trees.



EXISTING

82



PROPOSED

FIGURE TVI81

View 27: Glimpsed views of the Hockmore Tower are difficult to obtain from vantage points around Garsington, in this case the Church, and the proposed development is likely to be of the same order of impact.

1.2 DISTANT LANDSCAPE VIEWS

EXISTING



PROPOSED



FIGURE TV182

View 28: A view from (mostly private) land in Wytham Woods to the northwest. The extensive recent urban development around the City is prominent with Hockmore Tower a point of reference and the proposed development indicated to show its effect in the context of the wider view.

1.2 DISTANT LANDSCAPE VIEWS



EXISTING

84



PROPOSED

FIGURE TV183

View 29: From Raleigh Park to the west. Vegetation forms an effective screen even in winter and the Hockmore Tower and the proposed development would be just visible to the right.

View from Carfax Tower



View From Carfax Tower



Fig 2. View From Carfax Tower



View from St Mary the Virgin

87



View from St Mary the Virgin



Fig 3. View From St Mary The Virgin

